
Geelong Sale Yards

Weddell Road, North Geelong



Conservation Management Plan

**Dr David Rowe: Authentic Heritage Services Pty Ltd
&
Wendy Jacobs: Architect & Heritage Consultant**

September 2007

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CONSERVATION MANAGEMENT PLAN

Commissioned & Funded by
City of Greater Geelong

Authors:

Dr David Rowe

Authentic Heritage Services Pty Ltd

&

Wendy Jacobs

Architect & Heritage Consultant

Historical Research

Susie Zada, Zades Pty Ltd

September 2007

Disclaimer: All recommendations provided in this Report should be verified by qualified Engineers, Building Surveyors and other associated professionals.

Cover Photo: Mr Toyne and the auctioneers at the Geelong Sale Yards, 1913.
Source: News of the Week, 12 February 1913, Geelong Heritage Centre.

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Executive Summary

The City of Greater Geelong commissioned Dr David Rowe of Authentic Heritage Services Pty Ltd and Wendy Jacobs, Architect and Heritage Consultant in March 2007 to prepare a Conservation Management Plan for the Geelong Sale Yards. The Report has been funded by the City of Greater Geelong. A portion of this document has also been prepared in an honorary capacity. Also associated with the project Susie Zada, historian.

1. Historical Background

The following historical background should be read in conjunction with the Site Plan provided at the end of Section 1 and as Appendix 8.01 of this Report.

It was as early as 1864 when the Corporation of Geelong proposed to construct a cattle and sheep market in the Church reserve land to the north of Church Street, North Geelong. Plans had been prepared by the Geelong Town Council Surveyor, Robert Balding, for a 25 acre establishment immediately north of the Wesleyan and Roman Catholic Church reserves. This initial concept was not to be realized.

The second cattle market in Geelong, the portion of land for the new sale yards, comprising Allotment No. 73 at Kildare, was formally reserved on 26 September 1867. On 11 October 1870, the Town of Geelong also purchased the freehold to the neighbouring land to the north of the market reserve, comprising Allotment 74 amounting to 36 acres.

The acquisition of the new site at Kildare (now part of North Geelong) by the Geelong Town Council was contentious. In 1869, a Municipal Corporations (Amending) Bill was brought before the Victorian Parliament which included the power for the separation of the Thomson ward (Geelong West) from the Town of Geelong. Not surprisingly, the Geelong Town Council showed deep concern given that the cattle yards were being established. While the amending Bill provided the opportunity for the residents of the Thomson ward to realize their efforts towards separation, it did not preclude the Geelong Council the right to oppose it. Eventually, an amendment was made to the Bill to adjust the proposed boundaries that allowed for the new Sale Yards site to be retained within the Geelong Town Council municipality.

In December 1868, the Geelong Town Council's Market Reserve Committee resolved that Alderman Mathews and the town Surveyor, Robert Balding were to be deputed to visit Ballarat and Melbourne for the purpose of examining the Cattle Markets at these places, especially in relation to their construction, design and utility. By January 1869, Balding had visited the Newmarket (Kensington) and Ballarat yards and had prepared a new concept for the Geelong Sale Yards. The Market Committee approved Balding's concept and sought tenders for the supply of necessary red and blue gum timber posts and other timber material required for the new yards on 21 January 1869.

On the cool Monday morning of 6 September 1869, the Geelong Sale Yards were officially opened. From this time, the sale yards have been the location of the continuous selling of livestock. They have also been a centre of other business, social and cultural activities with those directly associated with the buying and selling of livestock.

The mix of business and pleasure was not confined to the cattle yards themselves. The majority of business and social activity occurred in the Market Office building constructed in 1869. This building was replaced with the present building in 1913 to a design by the City Surveyor, H.L. Tisdall. It was built as a 'temporary' Market Office. A latrines shed also appears to have been built at this time.

Throughout the 19th and 20th centuries, the cattle and sheep yards have expanded with the addition of other pens, yards and ramps, although the original layout and general character of the yards has been retained as part of the evolution of the place.

2. Physical Evidence

The Geelong Sale Yards front onto Weddell Road and comprise 6.055 hectares of gently sloping freehold land, together with a small portion of reserved land immediately to the south. It is surrounded by a high chain mesh fence with access gates on the Weddell Street frontage. The site is especially characterised by the sheep and cattle pens which traverse the bulk of the southern portion of the land and which are separated by a bitumen roadway. These yards feature early timber post and rail fences and gates, with bluestone pen paving. There are also elevated narrow covered walkways in the cattle yards. The layout and design of these yards was modelled on the Newmarket yards at Kensington (now converted into a residential area) and the Ballarat yards (now substantially altered). Steel posts, gates and concrete floor finishes have been introduced without substantially impacting on the original character and appearance of the layout and design of the yards.

At the western end of this thoroughfare is the Edwardian Market Offices building. This building is a central feature on the site and has highly intact stock and station agents' offices (sales offices). In poor condition, the building accommodates five stock and station agents' offices, together with a Bar area, Refreshment Room, Kitchen, Store, Small Office, Staff Lunch Room and Bathroom. The interiors of the sales offices are highly intact and include the original (1913) built-in timber sales benches, in-trays, shelving and writing desks.

Immediately neighbouring the Market Offices building to the north is a small Edwardian former latrines shed (formerly situated to the south of the Market Offices), along with other late 20th century flat-roofed sheds. Adjoining the eastern end of the sheep yards is a small Victorian gabled former gate keeper's cottage that appears to be the earliest building on the site. To the east of the cattle yards is a substantial shallow-gabled pig market building. This building is currently used for poultry, ferret and goat sales.

3. Cultural Heritage Significance

3.1 Statement of Cultural Significance

What is Significant?

The Geelong Sale Yards, Weddell Road, North Geelong has significance as the most intact functioning 19th century municipal stock yards known in Victoria. The second municipal Sale Yards to be built in Geelong, these Sale Yards were established in 1869 by the Town of Geelong to a layout and design by the Town Surveyor, Robert Balding. The need for larger and up-to-date stock yards reflects the importance of the local agricultural industry to the Geelong economy in the 19th century. The rectangular layout of the cattle and sheep yards, construction of the vernacular timber post and rail pen fences and gates, and the concept of elevated narrow covered walkways, was influenced by the layout and design of the Newmarket yards in Kensington and the Ballarat yards. Surviving early fabric of the Geelong Sale Yards includes the layout of cattle and sheep yards divided by a central thoroughfare, timber post and rail cattle and sheep pen fencing and gates, elevated and narrow covered cattle yard walkways, bluestone pen paving, stands of mature Ash trees shading the western sheep pens, former Caretaker's Cottage and the bluestone spoon drains. The Market Office building represents the second structure of its type on the site, having replaced the earlier structure as a "temporary" building in 1913. The vernacular Edwardian building appears to have been designed by the City Surveyor, H.L. Tisdall and has served the Sale Yards as stock and station agent offices, refreshment rooms, kitchen and lunch room to the present day. The interior of the building is substantially intact, including v-jointed timber ceiling and wall linings. In the stock and station agents' offices are original built-in timber sale benches with in-trays, wall-mounted timber shelving (for paperwork), timber bench seats and the timber writing desks. Also contributing to an appreciation of the early 20th century evolution and development of the yards is the former Latrine's Shed, built in c.1913.

How is it Significant?

The Geelong Sale Yards are historically, scientifically and socially significant to the State of Victoria.

The interiors of the Market Office building at the Geelong Sale Yards are architecturally significant at a LOCAL level.

Why is it Significant?

The Geelong Sale Yards are historically and scientifically significant at a STATE level (Criteria A, B, C & F). Established in 1869 as Geelong's second corporation stock yards, the surviving yards at North Geelong now represent the most intact functioning known 19th century sale yards in Victoria. The need for larger yards reflects the importance of the local agricultural industry to the Geelong economy at that time. The once ubiquitous rectangular layout of the cattle and sheep yards – separated by a central thoroughfare – together with the timber construction of the pen fencing and gates, bluestone pen paving and the narrow covered elevated cattle yard walkways, are a physical legacy of 19th century vernacular sale yard design and function now rare in Victoria. The layout and design of the Geelong Sale Yards were largely based on the Newmarket Sale Yards in Flemington and the Ballarat Sale Yards. The Newmarket yards closed in 1987 and were transformed into a medium density residential estate, with only a small area of cattle pens, fencing and a 19th

century brick Administration building surviving. The Ballarat yards represent the earliest known functioning 19th century stock yards in Victoria, but apparently little original fabric survives. The interiors of the Market Offices building at the Geelong Sale Yards also contribute to its high level of historical significance.

The Geelong Sale Yards are also historically significant for its long-standing associations with the Corporation of Geelong (now the City of Greater Geelong). Since 1869, the sale yards have continued to function as municipal yards. There are also historical associations with long-serving and influential stock and station agents who have been critical to the successful operation of the Sale Yards in the 19th and 20th centuries. These agents include: John Toyne (Toyne Brothers and Walsh) whose 40-year association with the yards included approximately 18 years as lessee; and H.F. Richardson agents, whose associations began with H.F. Richardson when a Member of Parliament assisted in securing the land for the yards and through successive generations of the Richardson family whose business has been transacted at the Geelong yards to the present day. Other early influential agents have included George Synnot Junior and Messrs Guthrie Bullock and Co.

The Geelong Sale Yards are socially significant at a STATE level (Criterion G). For almost 140 years, the Geelong Sale Yards has been a centre for business and social interaction between farmers, stock agents and others associated with the livestock industry. The weekly Monday sales at the Geelong yards continue a long tradition of providing an important secondary benefit to the users of the yards. The Refreshment Room and Bar in the Market Offices buildings have been the location for informal counseling, education, business and most of all much-needed friendship. This social value is has been especially important for farmers, who rely on the operation of the Sale Yards given their otherwise isolated lifestyles. The social value of the Geelong yards is still significant to this day.

The interiors of the Market Offices building at the Geelong Sale Yards are architecturally significant at a LOCAL level (Criterion D). They demonstrate original design qualities of the Edwardian period and provide a tangible appreciation of the early and continuing function of the building. Built in 1913, the five surviving stock and station agents' offices are highly intact and early fabric includes the stained coved v-jointed timber lined ceilings, stained v-jointed timber lined walls, exposed timber floor boards, stained v-jointed timber doors with early metal knobs and plates, built-in stained timber sales benches, wall-mounted stained timber shelving (for paperwork), stained timber in-trays on the benches, timber bench seats, and timber writing desks. Of less integrity but no less significance is the Refreshment Room and Kitchen at the southern end of the building, which include identical coved timber ceilings and v-jointed timber ceiling and wall lining boards as the agents' offices.

The Geelong Sale Yards also have the potential to educate and illustrate the function and operation of the yards in the 19th century through any surviving archaeological fabric. This fabric includes any surviving brick, stone and concrete-lined dams, bye-washes and barrel drains in the vicinity of Fishermans Gully (near the southern boundary of the site), and any fabric associated with the early sheep dip to the east of the sheep yards and ramps.

3.2 Significance of Components

The fabric considered to be of **PRIMARY significance** to the Geelong Sale Yards is as follows:

- Cattle Yards (especially the rectangular layout, timber post and rail pen fences and gates, bluestone paving, and elevated narrow, covered walkways – the extent of which is shown in Drawing 1.04).
- Sheep Yards (especially the rectangular layout, timber post and rail pen fences and bluestone paving, and the mature stands of Ash trees near the western boundary – the extent of which is shown in Drawing 1.04).
- Central thoroughfare dividing the cattle and sheep yards and providing uninterrupted views to the Market Office building at the western end of the site.
- Bluestone spoon drains (especially the bluestone drain that traverses the sheep yards in the southern portion of the site).
- Timber cattle ramp at the eastern boundary of the cattle yards.
- Market Office building.
- Former Latrines Shed.
- Former Caretaker's Cottage.

The fabric considered to be of **SECONDARY significance** to the Geelong Sale Yards is as follows:

- Open shed in the sheep yards.
- Interwar Toilet Block.
- Altered and 20th century cattle & sheep ramps.
- Possible archaeological fabric forming brick, stone and/or concrete-lined dams, bye-washes and sheep washes in the vicinity of Fishermans Gully and at the eastern portion of the sheep yards.

The fabric considered to be of **NO significance** to the Geelong Sale Yards is as follows:¹

- Covered pig market building & associated offices.
- Northern portion of cattle yards (see Drawing 1.04).
- Very small portion of sheep pens in the north-west corner of the sheep yards (see Drawing 1.04).

1 The lack of heritage significance for these structures does not imply that they are not useful and valued by the owners and users of the site.

- Southern sheep yard area (see Drawing 1.04).
- Open grassed northern area of the sale yards site.
- Sheds adjacent to the former Latrines Shed.

4. Conservation Policies

The following conservation policies have been prepared as guide only and are not the formal policy of the City of Greater Geelong. They represent the broad recommendations that have emanated from the conservation analysis in this Report.

4.1 Buildings & Fabric (Drawings 1.01-1.13, Appendix 8.01)

4.1.1 Buildings & Structures of Primary Significance

Policy 1: Exterior Fabric

It is policy that the exterior fabric of the buildings and structures identified as having primary heritage significance is retained. This fabric is:

- Cattle Yards (including the rectangular layout, timber post and rail pen fences and gates, bluestone paving, and elevated narrow, covered walkways. The extent of fabric of primary significance is shown in Drawing 1.04).
- Sheep Yards (especially the rectangular layout, timber post and rail pen fences and bluestone paving, and the mature stands of Plane trees near the western boundary. The extent of primary significance is shown in Drawing 1.04).
- Central thoroughfare dividing the cattle and sheep yards and providing uninterrupted views to the Market Office building at the western end of the site.
- Bluestone spoon drains (especially the bluestone drain that traverses the sheep yards in the southern portion of the site).
- Timber cattle ramp at the eastern boundary of the cattle yards.
- Market Office building.
- Former Latrines Shed.
- Former Caretaker's Cottage.

Policy 2: Interior Fabric

It is policy that the interiors of the Market Office building is retained and/or reconstructed.

4.1.2 Buildings & Structures of Secondary Significance

It is policy that consideration is given to the retention of buildings and structures of secondary heritage significance. This fabric is:

- Open shed in the sheep yards.
- Interwar Toilet Block (central thoroughfare).
- Altered and 20th century cattle & sheep ramps.
- Possible archaeological fabric forming brick, stone and/or concrete-lined dams, bye-washes and sheep washes in the vicinity of the Fishermans Gully and at the eastern portion of the sheep yards.

4.1.3 Buildings & Structures of No Significance

While the following buildings and structures relate to the later historical development of the Geelong Sale Yards site, they are not considered to have sufficient heritage value to warrant heritage status:

- Covered pig market building & associated offices.
- Northern portion of the cattle yards (see Drawing 1.04).
- Very small portion of sheep pens in the north-west corner of the sheep yards (see Drawing 1.04).
- Southern sheep yard area (see Drawing 1.04).
- Open grassed northern area of the sale yards site.
- Sheds adjacent to the former Latrines Shed.

4.2 Landscaping

It is policy that the stands of mature Ash trees in the sheep yards in the south-west corner of the site are retained.

4.3 Use Policy

It is policy that the Geelong Sale Yards continue to be utilized as a site for the sale of livestock (particularly cattle and sheep) to support the high level of historical significance of the place. Ideally, the site should be retained in Council ownership to support its heritage significance as one of the oldest continuously functioning municipal sale yards in Victoria.

4.4 Statutory Constraints

Building Code of Australia, OH&S Requirements, Animal Welfare Requirement

Policy

It is policy that all buildings and works at the Geelong Sale yards are carried out in accordance with the appropriate Building Regulations.

It is policy that the use of the site conforms to the relevant Occupational, Health and Safety (OH&S) requirements, Trade Waste Agreement and Code of

Practice for the Welfare of Animals at Saleyards, and other safety and regulatory requirements.

Heritage Controls

Heritage Victoria: Victorian Heritage Register

Policy

It is policy that consideration is given to the nomination of the Geelong Sale Yards for inclusion on the Victorian Heritage Register, given its high level of historical, scientific and social heritage value. The extent of designation for the Register should be from an east-west line immediately north of the Pig Market boundary to Fishermans Gully.

Greater Geelong Planning Scheme: Heritage Overlay

Policy

It is policy that an amendment to the Greater Geelong Planning Scheme be prepared for the inclusion of the Geelong Sale Yards as a Heritage Overlay in the Schedule to the Heritage Overlay in the Greater Geelong Planning Scheme. The extent of Heritage Overlay should be from an east-west line immediately north of the Pig Market boundary to Fishermans Gully. Consideration should also be given to the application of internal alteration controls specifically for the highly intact Stock and Station Agents' offices.

4.5 Environmental Risk

The following environmental risk analysis provides details on the most likely threats on the significant fabric of the Geelong Sale Yards, as a consequence of natural and human influences.

Threat	Likelihood of Threat	Recommendations to Mitigate Against Threat
Fire	Low	The likelihood of fire is currently low given that the sale yards and Market Office building are supervised on a daily basis and that there are no operational fireplaces in the Market Office building, former Latrines Shed and former Caretaker's Cottage. To ensure an adequate level of fire prevention, consideration should be given to the establishment of an Emergency Action Plan after the completion of a Fire Safety Audit. This audit may include adequate provision of fire extinguishers and smoke alarms, accounting for all relevant Building Code and Fire Safety precautions.
Storm	High	Given the poor condition of the fabric of the buildings of primary significance, there is a high probability that the buildings may suffer damage in the event of a severe storm. To reduce the potential for storm damage, the buildings and shelters require urgent repair and restoration (see Section 6).
Flood	Low	Maintain drains and ensure sufficient run off around buildings.
Structural Stability	Very High	The timber fencing of the cattle and sheep yards and the narrow covered walkways show signs of substantial weathering and rotting, which has undermined the structural stability of some of this fabric. Urgent repairs and restoration is required (see

		Section 6).
		The buildings of primary significance, particularly the Market Office building, are in poor structural condition. This has been confirmed by an Engineering Report by C.W. Fallaw & Associates Pty Ltd, Consulting Structural and Civil Engineers (see Appendix 8.09). Urgent repairs, restoration and reconstruction are required to reduce the very high structural risk.
Water Ingress & Damp	High	The poor condition of the Market Office building, including the rusted roof cladding and gutters, blocked gutters and overhanging tree on the west elevation, have created a likely opportunity for water ingress and dampness. The adjacent tree needs to be removed or urgently pruned and the Market Office building and other buildings of primary significance repaired and restored as a high priority.
Vandalism, Theft & Civil Disturbance	Moderate-High	A lack of lighting and security system at the Geelong Sale Yards poses a risk for vandalism and theft. As part of any restoration works and new development of the site, consideration should be given to a Security Audit with up-to-date security systems installed.
Vehicle Impact	Low	Opportunities for damage to significant fabric are low given the locations of vehicle ingress.
Occupational Health & Safety	High	Numerous previous Risk Analyses, Audits, Briefing Notes Feasibility Studies and Livestock Dynamics Reports have been prepared with regard to the Occupational Health and Safety (OH & S) issues for the Geelong Sale Yards. Most of these reports conclude that the inherent OH & S implications will remain with the retention of the existing fabric and operational arrangements. This poses a difficult issue given that the existing fabric contributes to the heritage significance of the place. Careful, balanced management procedures are required to ensure the retention of heritage significance while meeting relevant statutory OH & S and other requirements. Repairs to existing significant infrastructure, lighting, signage and continued co-operation between the users of the site would allow for the retention of heritage significance in the immediate, short term. Other opportunities for addressing these issues through new development are provided in Section 5.8 and Section 6.

4.6 Future Development & Control of Physical Intervention

4.6.1 Strategic Direction

The future strategic direction relating to the operations and existence of the Geelong Sale Yards on its current site has been the subject of considerable recent investigation. Some of the reports prepared on the Sale Yards have provided an appreciation of the specific strategic and regulatory issues that need to be acknowledged in the preparation of heritage policy.

A. Recent Reports on the Geelong Sale Yards

Numerous Risk and OH&S Audits, Briefing Notes, Feasibility Studies and Livestock Dynamics Reports have been prepared for the City of Greater Geelong in recent years in relation to the strategic direction for the Geelong Sale Yards site.² Not surprisingly, virtually all of these reports have not addressed the heritage values of the place as part of the future strategic direction for the future retention and management of the yards (hence the purpose of this Report).

Possibly the most relevant and recent principal strategic statement relating to the Geelong Sale Yards is identified in the Camperdown Regional Livestock Selling Centre Business Plan. It includes an interview with management at the City of Greater Geelong, the results on the Geelong Sale Yards being as follows:³

1. Recognises the social benefits of the yards.
2. Not prepared to close yards (socially not acceptable).
3. Sees the potential for heritage-based development/retention.
4. Will close if 'forced' to or if the closure is justified.

B. Occupational Health and Safety Requirements

The most common theme arising from the previous reports on the Geelong Sale Yards is the failure of the yards to meet the most basic Occupational Health and Safety Requirements. This appears to have been made manifest by a lack of regular ongoing maintenance (through the provision of adequate annual funding) and by changing and upgraded health and safety requirements since the construction of the yards in 1869. The operational risk due to the present poor state of the yards has caused one group of agents to cease operating at Geelong.⁴ The cessation of further agents has the potential to greatly impact on the operations of the yards and therefore the heritage significance of the site, as the heritage values of the place rely on its ongoing existing function.

C. SWOT (Strengths, Weakness, Opportunities & Threats) Analysis

A SWOT analysis has been prepared to further inform potential strategic directions and for the provision of heritage policies and recommendations that enable the retention of the heritage values of the place. The SWOT Analysis includes the results of a similar analysis in 2003 (conducted at a meeting of the Geelong Sale Yards Advisory Group) and the results of more recent feedback from officers of the City of Greater Geelong, farmers, producers, and agents (and staff). The full SWOT Analysis is provided as Appendix 8.08. Some conclusions of the analysis are as follows:

2 These reports are identified in subsequent footnotes and are listed in Section 7 of this Report.

3 Huefner & Associates Pty Ltd, Camperdown Regional Livestock Selling Centre – Business Plan, December 2006, prepared for the Corangamite Shire Council, p.xii.

4 Huefner & Associates Pty Ltd, Geelong Saleyards: Concept/Feasibility Study', prepared for the City of Greater Geelong, November 2003, p.5.

STRENGTHS	OPPORTUNITIES
<ul style="list-style-type: none"> • Location – close to CBD for users, rural supplier and smaller rural producers, also good road services. 	<ul style="list-style-type: none"> • Staged refurbishment of existing site – yards and roofing.
<ul style="list-style-type: none"> • Meeting place for exchange of knowledge and ideas as well as sales. Important social benefits of friendship, support and communication. 	<ul style="list-style-type: none"> • Ability to cater for growth of the number of smaller producers in the region (sea changers, baby boomers, early retirees).
<ul style="list-style-type: none"> • The only centre catering for smaller producers in the Geelong region. 	<ul style="list-style-type: none"> • Other potential uses for the site.
<ul style="list-style-type: none"> • Provides a forum for debate on rural & other associated matters. 	
WEAKNESSES	THREATS
<ul style="list-style-type: none"> • Limited capability of run-off of animal waste (wet years). 	<ul style="list-style-type: none"> • Moves to consolidate and privatize other regional sale yards could attract agents and/or producers away from Geelong.
<ul style="list-style-type: none"> • Inefficiencies in stock handling (same loading and unloading area). 	<ul style="list-style-type: none"> • Incompatible development in the area.
<ul style="list-style-type: none"> • Structure of yards – OH & S and Standards issues (significant issues). 	<ul style="list-style-type: none"> • Worksafe.
<ul style="list-style-type: none"> • Poor quality of infrastructure. 	<ul style="list-style-type: none"> • Financial pressures.

D. Policy: Strategic Direction

It is policy that the strategic directions for the management of the Geelong Sale Yards balance the need to meet regulatory requirements with the heritage values of the place.

4.6.2 Possible Future Building Developments

A. Proposal by the Geelong Sale Yards Advisory Group

In 2005, the Geelong Sale Yards Advisory Group submitted a proposal to the City of Greater Geelong for the upgrade of the sale yards. This proposal is still relevant from improved operational and regulatory viewpoints and is outlined as follows.⁵

The capital investment [of the proposed works] would provide:

- A roof for the cattle sale complex.
- State-of-the-art stock gates and fencing.
- New soft floor pens for the cattle yards.
- New raised buyer walkways.
- New auctioneer's walkways.
- Landscaping of site perimeter.
- Upgraded lighting for night work.
- New sprinkler and watering system.
- Sealing of car park areas.
- Refurbished offices.
- A new kitchen/café.
- Upgraded toilet facilities.

5 T. Phillips, Geelong Saleyards Advisory Group, Briefing Note: The Geelong Saleyards Upgrade Proposal, prepared for the City of Greater Geelong, January 2005.

- National Livestock Identification System.
- A new P.A. system.

The works will provide:

- Improved conditions for staff and customers.
- Improved general amenity of the North Geelong site and reduced visual and noise impact for neighbours and passing motorists.
- Substantial landscaping to provide a buffer between sale yards facility and surrounding residential, business and industrial sectors.
- Improved conditions to meet animal welfare needs, ensuring stock are held on soft floors that reduce stress on animals and provide a higher quality end product for meat processors. Stock will be in a more beneficial environmental with lower stress levels maintaining quality. Better quality will result in better prices for both meat and hides.
- It is anticipated that through the upgraded facility, all beasts will be arriving at meat processors in better condition, therefore creating benefits for all users, additional demand and higher prices.
- Roofing the sales complex will remove environmental impact concerns due to reduced run-off from the site and ensure compliance with the Trade Waste Agreement with Barwon Water.
- Retention of the sale yards which has an annual turnover of \$30M and is a large business operating within the Geelong Region.
- Retention of 80 jobs in the Geelong region (stock agents' staff, transport operators, meat processor buyers, sale yards employees, producers and suppliers to rural industries).

B. Policy: Future Development

Ideally from a heritage viewpoint, the repair and restoration of the existing facility in its present layout, design and function will retain a high level of heritage value for the place. However, it is acknowledged that the current fabric is having a negative impact on operations, health and safety, and potential future function. The need for the sale yards to continue to function for its original purpose to retain heritage value is essential.

It is policy that the sheep yards, southern portion of the cattle yards, Market Office building, former Latrines Shed and former Caretaker's Cottage be retained as part of any new sale yards development.

Opportunities are available for any new roofed yards (having soft floors and other features to meet contemporary regulatory requirements) in the northern portion of the cattle yards, as shown in Drawing 1.05. Additional expansion of covered yards could also be considered in the central northern portion of the site. While the loss of existing significant cattle yard fabric will have some impact on the significance of the place, the retention of some existing fabric and uninterrupted views to the Market Office building along the central thoroughfare and above the retained existing cattle yard area should provide for an adequate level of retained fabric to support the heritage significance of the place.

Further details on the restoration of existing fabric and the construction of new work are provided in Section 6.

4.6.3 Possible Related New Uses

It is policy that consideration is given to diversifying the possible function of the sale yards site through the provision of related uses on non-sale days. This may assist in:

- highlighting the importance of the sale yards to the Geelong area through additional exposure.
- Highlighting the significant heritage values of the sale yards.
- Ensuring the longer-term viability and sustainability of the significant fabric of the sale yards.

Possible related uses that are not considered to have any adverse impact on the principal sale yards use of the site include (but are not limited to):

- Regular farmers' and other product markets on the vacant grassed northern portion of the site.
- Sales centre for rural products.
- Centre for rural industry training.
- Centre of education for kindergarten and school children relating to the agricultural industry and the food chain. This may include the provision of activities, including interpretive information about the early significant sale yards fabric.

4.6.4 Subdivision

The northern grassed area of the site is current underutilized. While this part of the sale yards land has no significance to the current function and historical value of the place, it does partly act as an environmental buffer for neighbouring properties and also provides opportunities for other related uses that may assist with the long term viability of the place (see Section 5.8.3).

It is therefore policy that the subdivision of the northern portion of the site be discouraged if this may have a longer-term negative impact on the future operations of the sale yards on the existing site.

4.7 Interpretation

Policy

It is policy that appropriate interpretation be provided to give an understanding and appreciation of the history, layout and function of the Geelong Sale Yards.

Interpretive opportunities may include:

- Inclusion of the history and function of the Geelong Sale Yards on the City of Greater Geelong website.
- Development of an appropriate historical display panel in the Bar or Refreshment Room of the Market Office building, explaining the cultural heritage significance of the site.

- Organised Sale Yards Open Days to the general public, with interpretive displays and trails explaining the history and use of the site since 1869. Refreshments could be provided in the Refreshment Room.
- Preparation of an historical booklet on the history and significance of the Geelong Sale Yards, available to the general public and all users of the sale yards.

4.8 Management Policy

It is policy that the appropriate management of the Geelong Sale Yards site includes the conservation, restoration, maintenance, security and responsible use of the significant fabric. This Report should be used as a reference document for all conservation works.

Management of the property should include:

- Regular maintenance plans that address the Conservation and Maintenance Recommendations in this Report.
- Undertaking urgent repair works as outlined in the Priority Schedule of Works in this Conservation Management Plan.

4.9 Funding Opportunities Policy

Funding opportunities may be available for restoration works to the Geelong Sale Yards from some Government Departments and other agencies. Some of the financial opportunities currently available include the following.

A. Support From Local Members of Parliament

Seeking the support of the local State and Federal Members of Parliament can help with the success of Government funding applications, as the Members can gain a good understanding of the local needs, and therefore lobby the cause for grants or other assistance.

B. National Heritage Investment Incentive Program (Department of Environment & Water Resources) (Federal Government)

If the Geelong Sale Yards are included on the Victorian Heritage Register, consideration could be given to making application for restoration funds to the National Heritage Investment Incentive. Heritage places must be listed on the Australian Government's National Heritage List, or entered on the Victorian Heritage Register.

Proposed works must be consistent with a current approved management plan, prepared to the satisfaction of the state or territory heritage authority, or by a heritage impact statement, and must be consistent with the Burra Charter. For further details contact the Australian Heritage Council on ph. (03) 6274 1111 or 1800 653 004, or www.deh.gov.au/heritage/programs/

C. Regional Partnership Program (Federal Government)

The Regional Partnerships program brings together the Commonwealth Government's key regional funding programs, operating between 2004-08. It aims to encourage partnerships with communities, government and the private sector to foster the development of self-reliant communities and regions.

The Government supports projects that focus on:

- Strengthening growth and opportunities for economic and social participation in the community.
- Improving access to services, giving priority to communities in regional Australia with a population of less than 5,000.
- Supporting planning, with projects that assist communities to identify and explore opportunities and to develop strategies for action, and
- Assisting structural adjustment, by helping identified communities and regions adjust to major economic, social or environmental change.

For further details, contact the Australian Government Regional Information Services on ph. 1800 026 222. Further details may also be obtained from the program website: <http://www.regionalpartnerships.gov.au/>

D. Heritage Council Assistance Program, Heritage Victoria (State Government)

The Financial Assistance Program supports the conservation of recognized heritage places in Victoria. The program primarily assists privately-owned places listed on the Victorian Heritage Register, but may also fund places included in a Heritage Overlay of a local planning scheme. The inclusion of the Geelong Sale Yards on the Victorian Heritage Register or as a Heritage Overlay is therefore necessary in the first instance.

Funding is provided for the following types of projects:

- General conservation works.
- Urgent conservation works, and
- Facilitation of conservation projects, eg. Preparing Conservation Management Plans, conditions reports, and project management.

Applications are accepted all year round, with applications being considered four times a year.

The Program provides grants and loan funding for capital works and project facilitation. Generally, loans are for three-to-five year periods, and are repaid by quarterly installments of principal and interest. In some cases interest-free loans may be considered.

For further details, contact Heritage Victoria, ph. (03) 9637 9475.

E. Community Support Grant (State Government)

Community Support grants support projects that foster community planning, improved skills in the community, strengthened community organizations and community infrastructure. The Grants support initiatives to:

- Strengthen the capacity of communities.
- Increase local leadership.

- Involve a wide range of groups.
- Support the involvement of volunteers.
- Improve social, learning, cultural, employment and economic opportunities, and
- Improve community environments, resources and infrastructure.

Community organizations, local government; or the philanthropic sector may initiated proposal, provided that:

- Programs and projects are funded for the benefit of Victorians.
- The Applicant is a legal entity.
- The recipient has an Australian Business Number (ABN).
- Any underlying asset created by the project (eg. a building) must be owned by a Federal, State or Local Government, or a non-profit community organization.

For further details, contact the Department of Victorian Communities, Grants Management Unit, ph. 1300 366 356.

F. Heritagecare (State Government)

The Heritagecare program provides opportunities for volunteers to engage with the practical conservation of Victoria's heritage places, objects and collections. Heritagecare comprises two programs – Hands on Heritage and Community Stewardship.

Hands On Heritage: projects are short-term, involving a group of volunteers for up to 5 days. Projects must be suitable for unskilled volunteers, but must have public benefit and be on publicly accessible places, objects and collections with recognized heritage values.

Community Stewardship: projects will be longer term – typically up to six months duration, with a small group of volunteers (1-5) participating for 1-2 days a week. Projects will focus on 'skilling-up' volunteers so that they can sustainably participate in heritage management in their local area.

For further details, contact John Hawker by email at john.hawker@dse.vic.gov.au, or phone Heritage Victoria on ph (03) 9637 9475.

G. Regional Infrastructure Development Fund (State Government)

The Regional Infrastructure Development Fund (RIDF) provides funds for capital works in communities, which are broadly designed to enhance the development of rural and regional Victoria. The Program seeks to:

- Support new industry development.
- Link transport infrastructure.
- Improve tourism facilities, and
- Better link regional Victoria to new opportunities in education and Information and Communication Technologies (ICT) infrastructure.

Submissions for funding must demonstrate the applicant's ability to meet a significant number of following criteria: socio-economic, State and regional priority, project feasibility and delivery and financial.

For further details, contact Regional Development Victoria, ph. 132215 or email RIDF@rdv.vic.gov.au.

H. Creating Better Places, Heritage Grants (State Government)

Creating Better Places Heritage Grants Melbourne 2030 provides funding for the restoration and conservation of recognized heritage places in and around metropolitan activity centres and in cities and towns along the Networked Cities Corridors (including the networked cities corridor of Werribee-Geelong).

Grants are available for capital works projects for recognized heritage places. Works may include repairs and conservation in its broader sense, directed at increasing the use or viability of the place.

Grants are also available for project development, whereby a small number of grants are available to assist communities and councils with projects assessed by Heritage Victoria as being of high potential, by documenting them to a stage where there are accurate costings and are ready to implement.

Applications must be for recognized heritage places within the network cities corridors and generally open and accessible to the public. Private owners must also demonstrate that the proposed conservation project will confer a public benefit upon the wider community. The Geelong Sale Yards would need to be included on the Victorian Heritage Register or as a Heritage Overlay for consideration of this assistance program.

For further details contact Megan McDougall, Heritage Victoria, ph. 9637 9287, or Tony Armstrong, Heritage Victoria, ph. 9637 9281.

I. Victoria's Heritage Grants (State Government)

This program funds repair and conservation works to recognized and protected heritage places or objects. Works may include repairs and conservation in its broadest sense, directed at increasing the use or viability of a place or object. Interpretation projects may also be funded for individual places, collections or objects, or a series or group of places, collections or objects and may take the form of signage, plaques, trails or exhibitions. Places must be located in Victoria and be publicly accessible. Places with limited access will only be considered if there is engagement with the broader community that provides occasional access. The Geelong Sale Yards would need to be included on the Victorian Heritage Register for consideration of this program.

For further details, contact Heritage Victoria by ph. (03) 9637 9281 or by email at heritage.grants@dse.vic.gov.au.

J. Heritage Council Financial Assistance Program (State Government)

The Heritage Council's Financial Assistance Program supports the conservation of recognized heritage places in Victoria. Funding is provided for the following types of projects:

- General conservation works,
- Urgent conservation works, and
- Facilitation of conservation projects.

The Program provides grants and loan funding for capital works and project facilitation. Generally, loans are for three-to-five year periods, and are repaid by quarterly installments of principal and interest. The Geelong Sale Yards would need to be included on the Victorian Heritage Register for consideration of this program.

For further details, contact Heritage Victoria on ph. 9637 9475.

K. R.E. Ross Trust – Community Programs (Private Fund)

The R.E. Ross Trust is a perpetual charitable Trust which provides grants for charitable purposes in Victoria. The Trust gives priority to projects that are designed to develop, test and implement creative solutions to persistent, difficult social and environmental needs and problems. Areas of interest include: Aged Care, Arts and cultural activities, Environmental needs and problems, support for smaller community organizations.

The Trust will consider all applications for charitable purposes but prefers projects which involve volunteers and where there are expectations and plans for the positive impact of the project to be sustained beyond the grant period.

For further details, contact R.E. Ross Trust, ph. (03) 9690 6255.

L. RACV Foundation Environment and Heritage (Private Fund)

The RACV Foundation provides support for charities and worthwhile community causes. Current areas of interest for the Foundation are smaller community based projects in the following categories:

- Conservation, environment and heritage.
- Cultural development and arts.
- Health and well-being.
- Recreation and leisure.
- Community education and training.
- Communication and information.

Projects that cover more than one area are encouraged, as are those which involve partnerships with other community organizations.

Eligible organizations are those that have a broad community reach and profile, meet the funding criteria and can demonstrate sound management and excellence in their activities. Organisations should have a high degree of community and/or volunteer involvement, and demonstrate other fundraising activities and strategies.

For further details, contact: Janice Robins, Executive Officer, RACV Foundation, ph. (03) 9944 8706.

M. The Ian Potter Foundation Grants Program (Private Fund)

The Ian Potter Foundation is one of Australia's largest private philanthropic foundations, providing grants for general charitable purposes in Australia. Its areas of interest are the arts, education, environment and conservation, health, social welfare, science and medical research.

The Foundation aims to encourage the recognition of Australia's cultural heritage as an important component of education and community development. Preservation of the built environment is a further area of support which includes restoration work on numerous important churches and other heritage buildings.

For further details, contact: The Ian Potter Foundation, ph. (03) 9650 3188.

4.10 Lodgment of the Conservation Management Plan Policy

In addition to the provision of a copy of this Conservation Management Plan to the City of Greater Geelong, it is policy that it also be lodged with the State Library Victoria. The State Library Victoria has provided permission for the use of historic photographs in this Report, on the understanding that a copy will be forwarded to the library.

4.11 Further Research

Historical research for this Report has included a review of the Geelong Town Council's Market Committee Minutes from 1867-1880 and 1906-1925. Although other references have also been sourced, the budget has also limited the review of additional information in the Committee Minutes. Further research of the Minutes may reveal further details about the development, events and people associated with the Geelong Sale Yards.

5. Recommendations, Works & Maintenance

The Report establishes a range of Recommendations and Short and Long Term Works and Maintenance for the conservation, restoration, repair and reconstruction of the exterior and interior fabric of the Geelong Sale Yards. For full details, refer to the Recommendations, Works & Maintenance tables in Section 6 of the Report.

General Recommendations for the fabric of primary significance, as identified in Section 6, are as follows:

5.1 Cattle Yards

Retention of Existing Entire Cattle Yards

The retention of the entire early extent of the existing cattle yards is ideal from a heritage viewpoint. If consideration is given to the restoration and repair of the existing fabric, to meet basic health and safety requirements, consideration should be given to the following Recommendations and Works and Maintenance Items (further recommendations are given in Section 6):

- Retain five pens in the south-west corner of the cattle yards (the pens backing onto the central thoroughfare), including exposed bluestone pen paving and early timber post and rail fencing and gates.
- Retain the original design of the timber post and rail pen fencing around the southern and western perimeter of the cattle yards (rotted fabric may be reconstructed).
- Retain elevated narrow covered walkways.

- Retain ramps at the eastern end of the cattle yards. At the very least, the early ramp constructed completely of timber should be retained if other regulations require the replacement of existing ramps.

Possible Future Development of Cattle Yards

If consideration is given to the development of new cattle yards with roofs and soft floors to ensure the long term viability of the Sale Yards, site, the southern portion of the existing cattle yards, including the southern elevated covered walkway, should be retained, as shown in Drawing 1.05 (Appendix 8.01). All existing deteriorated pen fencing and gates should be reconstructed to the original design and construction, as a heritage benefit for the loss of existing significant fabric over the northern portion of the yards. Continued minimal use of the existing retained portion of the cattle yards is encouraged. Consideration should also be given to the following Recommendations and Short Term Essential Works and Maintenance Items (further recommendations are given in Section 6):

- Retain southern portion of cattle yards as shown in Drawing 1.05.
- Retain design of existing original timber post and rail fencing and posts in fair-good condition.
- Retain design of existing covered southern walkway.
- Retain existing bluestone pen paving.
- Any new buildings and sale yards structures are encouraged to be situated in the location shown in Drawing 1.05 and built of non-reflective materials.

5.2 Sheep Yards

- Retain existing layout and extent of sheep yards as shown in Drawing 1.04 (Appendix 8.01).
- Retain timber post and rail pen fencing fronting the bluestone spoon drain towards the eastern end of the yards.
- Retain the open shed towards the eastern end of the yards.
- Retain the bluestone spoon drain towards the eastern end of the yards.
- Retain the bluestone pen paving in the yards immediately adjacent to the open shed.

5.3 Market Office Building

- Retain the existing form and appearance of the Market Office building.
- The Market Office building is in poor structural condition. It is recommended that the Engineer's Report by C.W. Fallaw and Associates Pty Ltd (Appendix 8.09) be adopted for restoration, repair and where necessary reconstruction works (apart from the replacement of the roof sheeting with zincalume). Any existing timber roof, wall and floor structure in fair-good condition should be retained. Details of the basic required works are provided in the following Short Term Essential Works & Maintenance section.

- Retain the existing layout, design and detailing of the building interiors including the Bar area, Refreshment Room, Kitchen and store comprising the southern portion of the building (the portion of the building in the most unsound structural condition). This portion of the building should be repaired and where necessary reconstructed to match the existing layout and design, and not changed as suggested in the Engineer's Report (appendix 8.09).

5.4 Former Latrines Shed

- Retain the existing form, design and construction appearance.

5.5 Former Caretaker's Cottage

- Retain gabled form and design of the former Caretaker's Building.

5.6 Priority Schedule of Works

A priority order for the most critical SHORT TERM ESSENTIAL exterior maintenance items is recommended as follows.

6.8.1 CATTLE YARDS

1. Replace substantially weathered and rotted timber posts and rails to pen fencing, to match existing along the southern and western boundaries of the cattle yards, and within the five early pens in the south-west corner.
2. Replace rotted timber pen rails in timber to match existing. All rails attached to original posts should be constructed to match the original design (with the rails through the centres of the posts).
3. Introduce steel boots to rotted timber pen and gate post bases if remainder of post is in fair-good condition. The example of an introduced steel boot to an early timber gate post is shown in Photo 3.27.
4. Replace rotted timber walk planks in timber to match existing.
5. Replace timber posts and subfloor structure to covered walkways in timber to match existing.
6. Replace rusted galvanised corrugated steel roof cladding to covered walkways in galvanised corrugated steel to match existing.
7. Replace rotted timber rails to covered walkway in timber to match existing.
8. Retain and restore bluestone paving in the five pens in the south-west corner.
9. Remove cracked broken down concrete slurry to bluestone pen paving and repave with suitable soft stand paving.
10. Replace rotted timber floor boards (with introduced asphalt finish) to elevated covered walkways with timber boards to match existing. The timber boards should remain exposed, with no asphalt finish applied.
11. Repair cracked and broken down bluestone wall bases to ramps and adjacent retaining walls.
12. Repair timber posts and rails to existing early (all timber) ramp.

6.8.2 SHEEP YARDS

1. Replace rotted timber posts and rails to pen fencing in timber to match existing for fencing fronting the bluestone spoon drain that traverses the sheep yards.
-

-
2. Introduce steel boots to rotted timber pen post bases if remainder of post is in fair-good condition.
-
3. Remove broken down concrete slurry to bluestone paving and replace with fibrous concrete or other finish (except yards immediately adjacent to the open shed).
-
4. Repair cracked and broken down bluestone wall bases to ramps and adjacent retaining walls.
-
5. Replace substantially weathered timber posts and rails to ramps in timber to match existing
-

6.8.3 MARKET OFFICE BUILDING

Roofs

-
1. Remove tree overhanging roof (west elevation).
-
2. Remove debris build up in roof valleys and gutters.
-
3. As per Engineer's Report (Appendix 8.09) remove existing roof cladding and repair timber roof structure. Add sarking and insulation to modern requirements.
-
4. Replace rusted roof cladding in galvanised corrugated steel to match existing profile (not zincalume as indicated in Engineer's Report).
-
5. Replace rusted roof cappings and flashings in galvanised steel with profiles to match existing.
-
6. Replace downpipes with round 90mm diameter galvanised steel downpipes and connect to sealed drainage.
-
7. Replace rusted gutters and introduced zincalume quad gutters with galvanised steel quad gutters.
-
8. Sand, prime and paint weathered timber fascias (including verandah). Replace rotted fascias in timber to match existing.
-
9. Replace weathered timber bargeboards to northern gable end and to the southern wing in timber to match existing (east elevation).
-
10. Sand, prime and paint weathered timber bargeboards and louvres to end of gambrel roof (north elevation).
-
11. Sand, prime and paint weathered timber bargeboards and louvres to end of gambrel roof (south elevation).
-

Floor Structure

-
12. Lower ground level around building and grade away from building. There should be a clearance of 150 mm from ground level to the underside of floor bearers.
-
13. Repair floor structure by removing existing floor framing and stumps as per Engineer's Report (Appendix 8.09). Restump floor with concrete stumps with appropriate concrete pads to Engineer's Design.
-

Walls

-
15. Remove birds' nest in eaves (south elevation).
-
16. As per Engineer's Report (Appendix 8.09), remove existing external wall cladding and repair timber wall structure. Opportunities are available to install sarking and insulation.
-
17. Replace rotted baseboards to northern gable end and southern wing in timber to
-

match existing (east

18. After structural wall repairs have been completed, re-attach all existing galvanised corrugated steel roof cladding in fair-good condition and treat with rust inhibitor.
 19. Replace rusted galvanised corrugated wall cladding in poor condition with galvanised corrugated steel cladding to match existing profile.
 20. Paint all wall cladding to match existing colour.
 21. Investigate the need for a damp proof course in base of chimney and repair loose brickwork with mortar mix to match existing original (south elevation).
-

Verandah

22. Remove introduced asphalt verandah floor and steps and replace with timber boards and steps. Subfloor air vents should be provided in the new timber risers to provide satisfactory subfloor ventilation under the building.
 23. Repair verandah post bases after the removal and replacement of the verandah floor, and sand, prime and paint posts and fascias to match existing colour.
-

Windows & Doors

24. Replace damaged timber window frames and sashes in southern end in timber to match existing (east elevation).
 25. Replace rotted timber window sills (southern end) in timber to match existing (east elevation).
 26. Replace rotted timber to east window in timber to match existing (north elevation).
 27. Replace rotted timber window frames, sashes and sills in timber to match existing (west elevation).
 28. Replace damaged glazing with glass to match existing.
 29. Replace damaged fly screens over windows to match existing.
 30. Repair split timber boards in door (with quarantine sign affixed) under verandah (east elevation).
 31. After roof, floor and wall repairs have been completed, ease all doors to allow closure.
 32. Sand, prime and paint all windows and doors in colours to match existing.
-

6.8.4 FORMER LATRINES SHED

1. Replace rusted roof cladding, capping and quad gutters and in galvanised steel to match existing.
 2. Introduce additional 90 mm round galvanised steel downpipes and connect to sealed drainage.
 3. Lower ground level and grade away from building.
 4. Repair the original timber lattice screens under eaves.
 5. Repair, sand, prime and paint timber fascias.
 6. Repair, sand, prime and paint weathered timber strips of original timber lattice screens under eaves.
 7. Repair timber wall frames.
 8. Replace substantially rusted corrugated sheet metal wall cladding to match existing.
-

-
9. Treat corrugated sheet metal wall cladding in fair-good condition with rust inhibitor.
 10. Paint exterior of building to match existing.
-

6.8.5 FORMER CARETAKER'S COTTAGE

Roofs

1. Repair timber roof structure to match existing.
 2. Replace rusted roof cladding and capping with galvanised corrugated steel to match existing.
 3. Replace half round gutters (north and south elevations) in galvanised steel to match existing profile.
 4. Introduce round 90mm galvanised downpipes and connect to sealed drainage.
 5. Replace rotted timber bargeboards (east and west elevations) to match existing.
 6. Replace weathered timber fascias (north and south elevations) to match existing.
 7. Replace weathered and missing timber finials on the gable ends in turned timber to match existing.
-

Floor Structure

8. Repair floor structure by removing existing floor framing and stumps. Restump floor with concrete stumps on concrete pads to Engineer's design.
 9. Replace rotted timber floor boards in timber to match existing.
-

Walls

10. Repair rotted timber wall structure (studs, top plates and bottom plates) in timber to match existing.
 11. Replace rotted and deteriorated timber weatherboard wall cladding to match existing.
 12. Replace rotted timber baseboards to match existing.
-

Windows & Doors

13. Replace timber doors (south elevation) in vertical beaded edged timber boards to match existing.
 14. Repair deteriorated timber window frame and reinstate glazing (west elevation).
 15. Reinstated timber framed window on east elevation.
 16. Sand, prime and paint building exterior in red oxide to match existing.
-

PART ONE: THE CONSERVATION ANALYSIS

SECTION 1

1.0 Introduction

SECTION 1

1.0 Introduction

1.1 Background & Method

This Conservation Management Plan for the Geelong Sale Yards, Weddell Road, North Geelong, was commissioned by City of Greater Geelong in March 2007. The Report has been funded by the City of Greater Geelong. A portion of this document has also been prepared in an honorary capacity.

The purpose of Sections 1-4 of this report is to provide an assessment of the aesthetic, historic, scientific and social significance of the place, utilising readily available documentary information, and physical investigations. This assessment is used in Sections 5-6, where policies, recommendations, works and maintenance items have been prepared for the conservation and restoration of significant heritage fabric at the Geelong Sale Yards, as well as indicating opportunities for future development that may assist with the longer term viability of the place.

All illustrations and photographs (Appendices 8.02-8.04) used in this report are for research and guidance purposes only. Any commercial reproduction of these illustrations and photos will require Copyright clearance from the respective owners. Site and Floor Plans, Photographic Keys and a Potential Development Envelope Key are provided as Appendix 8.01.

This report reflects the principles embodied in the Australia ICOMOS (International Council on the Conservation of Monuments and Sites) *Burra Charter*, which is the pre-eminent conservation document in Australia. The *Burra Charter* is included in this report as Appendix 8.06. The report is also largely in accordance with Heritage Victoria's standard Brief for the preparation of Conservation Management Plans (March 2003), but tailored to suit the particular client requirements and budget.

This report has been prepared by Dr David Rowe of Authentic Heritage Services Pty Ltd, PO Box 9169, St. Albans Park, Geelong, 3219 and Wendy Jacobs: Architect & Heritage Consultant, PO Box 193, Ballarat, 3353. Historical research has been provided by Susie Zada of Zades Pty Ltd.

Copyright is held jointly by the City of Greater Geelong and the consultants. Any of the parties has a perpetual license to use the material in this Report.

1.2 Acknowledgments

The Consultants acknowledge and appreciate the support provided by the following people in the preparation of this Report:

- Henry Manzl, Coordinator - Project Implementation, Engineering Services, City of Greater Geelong.
- John Brown, Project Officer, City of Greater Geelong.
- Peter Bohling, Supervisor, Geelong Sale Yards.
- Tom Phillips, Secretary, Geelong Sale Yards Advisory Committee.
- Staff at the Geelong Heritage Centre.
- Anthony Navarro, Public Land Administration, South West Region, Department of Sustainability & Environment.
- Tim O'Neill, Public Land Administration, South West Region, Department of Sustainability & Environment.
- Ian McLachlan, Spatial Information Coordinator, Barwon Water.
- Robyn Mullens, Heritage Victoria.
- Paul Roser, Heritage Victoria.
- Murray Arnel, Stock and Land Journal.
- Helen Martin, Shearwater Associates, Pty Ltd.
- Michelle Summerton, Historica.
- Gary Vines, Archaeologist, Biosis Research Pty Ltd.
- Amanda Jean, Heritage Architect.
- Timothy Hubbard, Heritage Matters Pty Ltd.
- Janette Hodgson, Public Land Assets - Historic Places, Department of Sustainability & Environment.
- Maggie Baron, Baron Planning & Projects.
- Margret Doring, C. & M.J. Doring Pty Ltd.
- Linda Barraclough, Gippsland Heritage Journal.
- Lorraine Huddle, Heritage Consultant.
- Iain Stuart, JCIS Consultants.
- Lisa Gervasoni, Heritage & Urban Design Officer, City of Ballarat.
- Lex Gugger - Geelong Sale Yards.
- John Richardson, H.F. Richardson Stock & Station Agents.
- Laurie Ferry – Geelong Sale Yards.
- Bill Carew – Geelong Sale yards.
- Jamie Anderson – Geelong Sale Yards.
- Ivan Zaparenkov – Geelong Sale Yards.

1.3 Heritage Listings

The registers of the authorities listed below were searched in June 2007, with the following results:

1.3.1 Australian Heritage Council

The Geelong Sale Yards, Weddell Road, North Geelong, is not identified on the National Heritage List, Commonwealth Heritage List or the Register of the National Estate.

1.3.2 Heritage Council of Victoria

The Geelong Sale Yards, Weddell Road, North Geelong, are not included on the Victorian Heritage Register.

1.3.3 City of Greater Geelong

The Geelong Sale Yards, Weddell Road, North Geelong, are not included as a heritage overlay in the Greater Geelong Planning Scheme.

1.3.4 National Trust of Australia (Victoria)

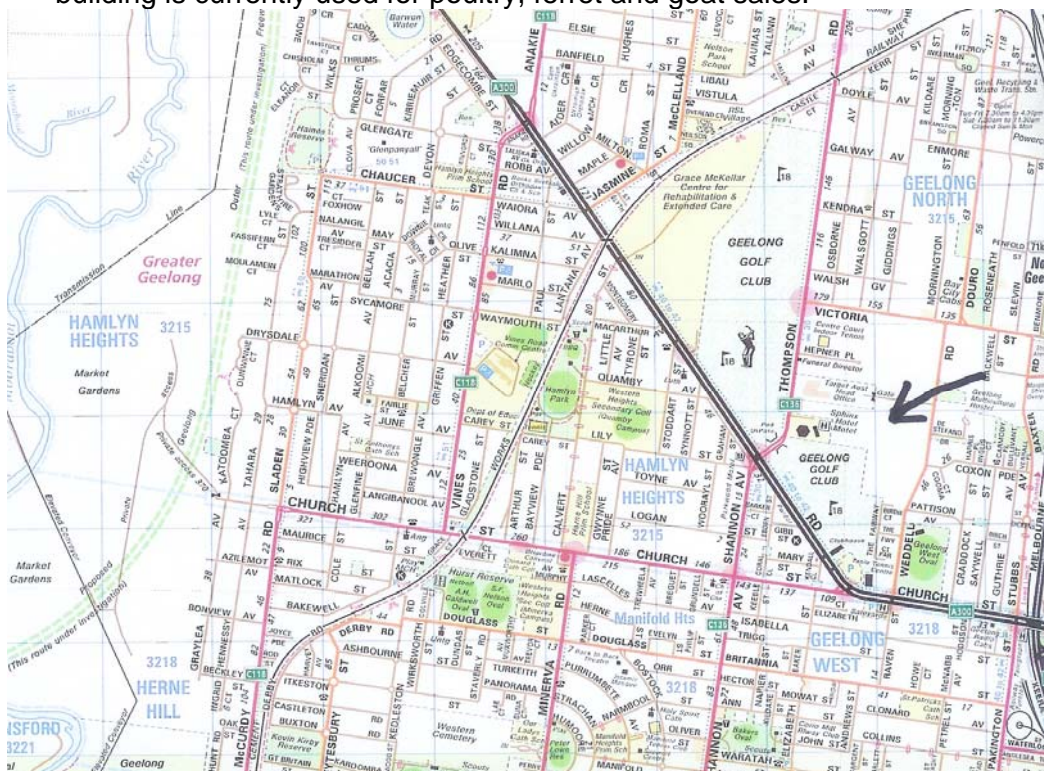
The Geelong Sale Yards, Weddell Road, North Geelong, are listed on the register of the National Trust of Australia (Victoria).

1.4 Statutory Obligations of Heritage Listings

As the Geelong Sale Yards are not included on the Victorian Heritage Register or as a heritage overlay in the Greater Geelong Planning Scheme, there is no formal obligation to seek heritage and/or planning permits for buildings and works and changes of use from a heritage perspective. However, this Report reveals that the Sale Yards have heritage value and any proposed changes are encouraged to be discussed with Council’s Statutory Planning Department.

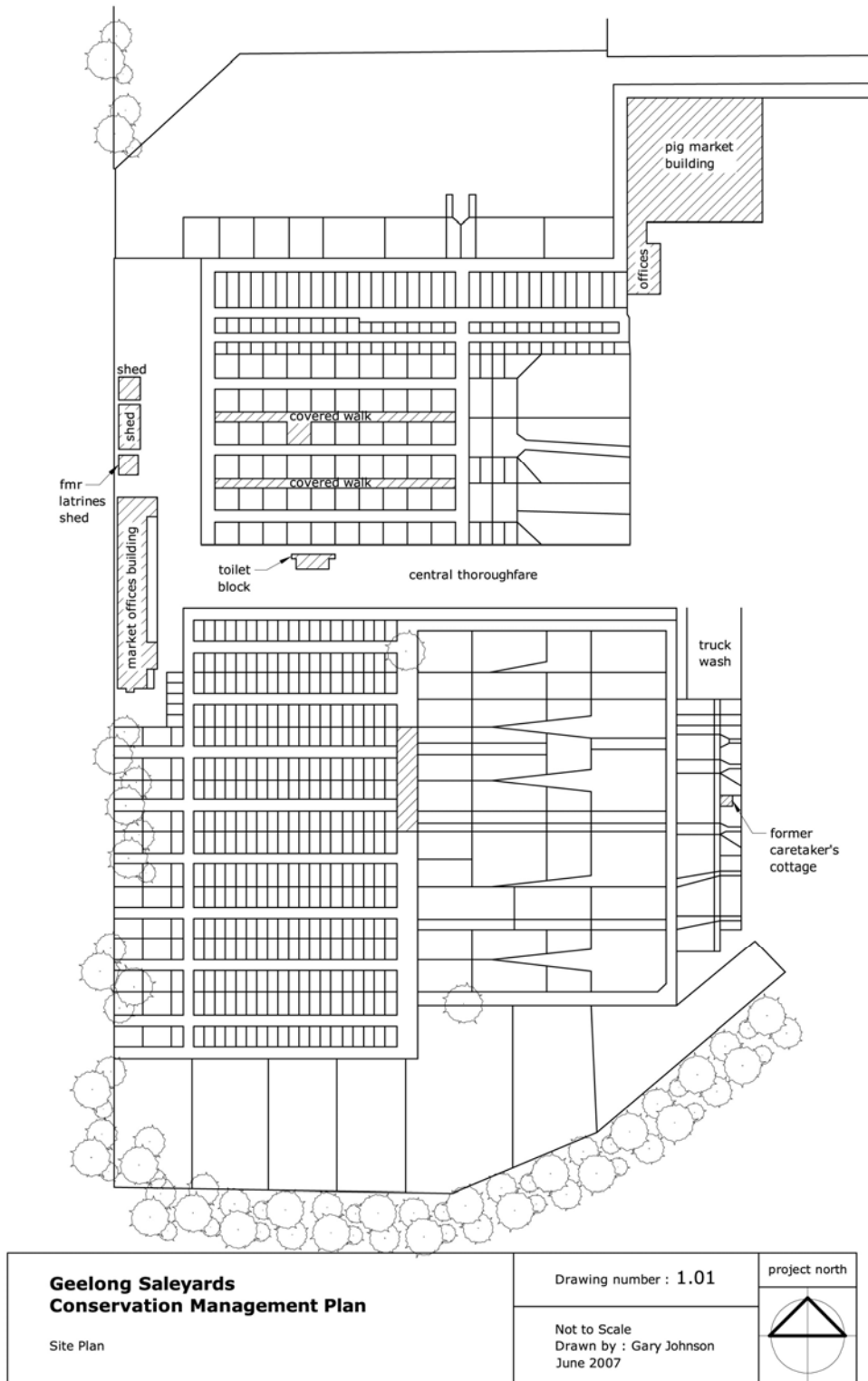
1.5 Definition of the Property

The Geelong Sale Yards front onto Weddell Road and comprise 6.055 hectares of gently sloping freehold land, together with a small portion of reserved land immediately to the south. It is surrounded by a high chain mesh fence with access gates on the Weddell Street frontage. The site is especially characterised by the sheep and cattle pens which traverse the bulk of the southern portion of the land and which are separated by a bitumen roadway. At the western end of this thoroughfare is the Edwardian Market Offices building. This building is a central feature on the site and has highly intact stock and station agents’ offices. Immediately neighbouring the Market Offices building to the north is a small Edwardian former latrines shed (formerly situated to the south of the Market Offices), along with other late 20th century flat-roofed sheds. Adjoining the eastern end of the sheep yards is a small Victorian gabled former gate keeper’s cottage that appears to be the earliest building on the site. To the east of the cattle yards is a substantial shallow-gabled pig market building. This building is currently used for poultry, ferret and goat sales.



Source: Melway: Greater Melbourne, Map441.

1.6 Site Plan of the Geelong Sale Yards



SECTION 2

2.0 Historical Evidence

SECTION 2

2.0 Historical Evidence

Extensive historical research has been carried out for the Geelong Sale Yards. Additional research was required to resolve particular difficulties in determining exactly the specific sale yards site, given that the Corporation of Geelong was responsible for more than one site in the 19th century. Every attempt has been made to ensure that the documentation referred to (specifically historical drawings) directly relates to the subject site. A lack of historical photographs of the site and buildings has also contributed to research difficulties relating to understanding and appreciation of the history of the site.

2.1 Early Development of Geelong

Upon the surveying of Geelong by the Government Surveyor's Assistant Henry Smythe in 1838, the small town seemed destined to become Victoria's capital city.¹ In this same year the Governor, Sir Richard Bourke, toured the area and it is believed that 'His Excellency compared Geelong with a gentleman's park and remarked that it ought to be the capital of the province.'² Although this did not eventuate, a number of early settlers did not agree with Governor Bourke's decision of making Melbourne the premier city. They settled in Geelong because of the rich country surrounding it and were hopeful that their businesses would shape the town into a highly successful trading location.³ Consequently, through the 1840s and 1850s Geelong rivaled Melbourne in size.⁴

Alexander Sutherland in *Victoria and Its Metropolis* described Geelong in the early 1850s as follows:

Geelong, too, had gathered dignity during the era of gold, and was in 1854 a larger city than Melbourne had been three years before. It was the nearest port to Ballarat and the circumjacent goldfields. Its piers were crowded with ships; its streets busy with drays piled high with freight, that nodded cumbrously behind long lines of bullocks bound for the diggings. These streets were clean and well paved, the Government having advanced a loan of two hundred thousand pounds to place them in good order. The buildings, though still to some extent a jumble of brick and wood and iron, were attractive enough, and there was beginning to be perceptible a growing inclination to use the fine freestone of the district, so that a cheerful, and even handsome aspect was noted by the visitor in some of the business portions. ... It was even then a promising place of business, but now it was the third city in Australasia, ranking next to Melbourne and Sydney, and a little ahead of Adelaide.⁵

Although a growing city full of promise, Geelong had to contend with various problems during the booming gold rush period that became substantial obstacles in the town's developing path during the remainder of the 19th

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- 1 W.R. Brownhill & I. Wynd, *The History of Geelong and Corio Bay With Postscript*, Geelong Advertiser, 1990, pp.11-12.
 - 2 Ibid.
 - 3 A. Henderson, *Early Pioneer Families of Victoria and the Riverina: A Genealogical and Biographical Record*, McCarron Bird, Melbourne, 1936, p.468, in D. Rowe, 'Architecture of Geelong 1860-1900', B. Arch. (Hons.) Thesis, Deakin University, 1991.
 - 4 L. Huddle, 'Architects in Geelong 1840-1860', research thesis, University of Melbourne, 1979, p.1.
 - 5 A. Sutherland, *Victoria & Its Metropolis: Past & Present*, vol.1, McCarron Bird & Co., Melbourne, 1888 [CD edn. 2006], pp.384-385.

century. The sandbar at Point Henry prohibited ships from entering Corio Bay and thus the vast population of fossickers venturing to the goldfields often bypassed the port of Geelong for a more convenient disembarkation at Melbourne.⁶ There was also the false map that had been produced by Melbourne's merchants, inaccurately showing Melbourne being far closer to the burgeoning Victorian goldfields of Ballarat than Geelong.⁷

Although there were problems, Geelong's population in the 1840s and 1850s increased dramatically. In 1845, the recorded population was 3,810 and there were 406 houses.⁸ By 1857, the population had escalated to 23,314 and the number of houses totaled 6,008.⁹ Two years later in 1859, the population was 25,000 and then it fell and did not surpass this figure until the 1870s.¹⁰

During the second half of the 19th century, Geelong benefited from its closer proximity to the Western District. It became a hub for wool sales and other produce, with numerous substantial woolstores and other warehouse buildings constructed adjacent to its port. In 1888, Sutherland described the city:

Geelong is picturesquely situated; it stretches back from the usually placid waters of Corio Bay, standing on the two slopes and the crown of a gentle hill, reaching on the further side to the Barwon river. It possesses a pure and salubrious atmosphere, is well lighted with gas, and is plentifully supplied with water from the Stony Creek reservoirs and the Lovely Banks filter beds. ... The town is well laid out, and in its streets are numerous handsome and commodious shops and business premises of all kinds.¹¹

2.2 Establishment of Kildare

By 1846, more than five distinct villages had been established in Geelong, namely in North Geelong, South Geelong, Irish Town, Newtown, Ashby, Little Scotland and Kildare.¹² While Ashby formed the earliest nucleus of suburban settlement in Geelong West, Kildare represented another settlement on its northern outskirts, taking in the land north of Waratah Street and Church Street adjacent to the Ballarat Road.¹³ The location of Kildare is shown on Taylor's Map of Geelong in 1854 (Figure 2.01).

The original area comprising Kildare stretched over 300 acres (Figure 2.02). The original crown land purchasers in 1839 had largely acquired 25 acres each.¹⁴ The Irish origins of the name appear to relate to P.W. Welsh land owner of W. Mackenzie's 25 acres (being allotment 7 of section 8) from 1844.¹⁵ He was the son of a Dublin doctor. In August 1848, the first building blocks of

6 Rowe, *op.cit.*, p.1.

7 *Ibid.*

8 L. Huddle, 'Architects of Early Geelong – 1', in the Investigator: Magazine of the Geelong Historical Society, vol.17, no.2, June 1983, pp.37-38.

9 *Ibid.*

10 *Ibid.*

11 Sutherland, vol.2, *op.cit.*, pp.149-151.

12 Honman, Huddle & Aitken, City of Geelong West Urban Conservation Study, vol.1, City of Geelong West & Geelong Regional Commission, 1986. This study only mentions five settlements comprising North Geelong, South Geelong, Irish Town, Newtown and Ashby. However, other settlements are known to have existed from around this time as further indicated in this Report.

13 G. Seaton, *The Ashby Story: A History of Geelong West*, Geelong West City Council, Geelong West, 1978, pp.34-40 & I. Wynd, *So Fine A Country: A History of the Shire of Corio*, Shire of Corio, North Geelong, 1981, p.171.

14 Seaton, *op.cit.*

15 *Ibid.*, pp.34-38.

the Kildare Estate (comprising the original allotments 6-9 in section 8 of the Parish Plan) were offered for sale.¹⁶ The sale description boasted that the land was ‘the best brick earth in the area, and that “all drays to the west via Bates’ Ford” passed close to it.’¹⁷ Another advertisement in 1849 declared that ‘Nine-tenths of the produce arriving in Geelong was brought along that road.’¹⁸

A soapworks, blacksmith’s shop, and the Sportsman’s Arms Inn represented some of the earliest building developments at Kildare at this time.¹⁹ By 1854, a number of smaller residential allotments had been subdivided and dwellings built, together with what appears to have been some quarry sites fronting Church Street, as shown in Taylor’s Map for 1854 (Figure 2.01).

On the north side of Church Street (comprising Section 73 on the Moorpanyal Parish Plan) was the Reserve. For many years it was known as the Church reserve given that the Roman Catholic, Wesleyan and Church of England denominations had reserved land on this site.²⁰ Also situated on the reserve was the stone police lock-up, station and watch house which has been called ‘the best in the district.’²¹ The Reserve was set aside for a railway station as early as 1848.²² The location of the proposed rail terminus (which was never built) was ideal given its close proximity to sheep and cattle routes. Part of this land was later transformed into the Geelong West Oval.

2.3 Establishment of the Geelong (Kildare) Sale Yards

2.3.1 Initial Land Acquisition

Several market reserve and stock yards were established in Geelong around the mid 19th century. A broad historical overview of the early development of these sites is given in Section 4 of this Report.

It was as early as 1864 when the Corporation of Geelong proposed to construct a cattle and sheep market in the Church reserve land to the north of Church Street. Plans had been prepared by the Geelong Town Council Surveyor, Robert Balding, for a 25 acre establishment immediately north of the Wesleyan and Roman Catholic Church reserves²³ (Figure 2.03). Being close to sheep and cattle routes, other stock yards and the Cowies Creek slaughter house,²⁴ the proposed location of the Corporation Sale Yards was considered ideal. Initially, the sheep pens were to be situated immediately north of the Wesleyan Church reserve fronting Raven Street (now Weddell Road), opposite the Geelong West Oval Grandstand on the east side of Weddell Road today, as shown in Figure 2.03. Adjoining the sheep pens to the north was to be the cattle yards, situated south of Fishermans Gully, with the slaughter houses to the north-west.

Political Contention over Proposal Site

16 *Ibid.*, pp.39-40.

17 *Ibid.*, pp.38-39.

18 *Ibid.*

19 *Ibid.*

20 *Ibid.*, p.40.

21 *Ibid.*, p.44.

22 *Ibid.*

23 R. Balding, Plan of Proposed Location of Cattle Market & Slaughter Houses, 20 February 1864, Geelong Council Plans collection, P256, Geelong Heritage Centre.

24 Wynd, *op.cit.*, pp.90-92.

The proposed sale yards did not immediately eventuate. Arguably, the principal reason was the potential separation of the Thompson Ward (largely comprising Geelong West) from the Town of Geelong. A Separation Committee had formed in 1863 (just a year prior to the preparation of Balding's plan [Figure 2.03]) and on 19 February of that year the following resolution was passed:

That this meeting is of opinion that Thomson ward, from the extent of its boundaries and rising importance, should govern its local affairs and be formed into a municipality.

This resolution was resisted by the Geelong Town Council which appears to have galvanised itself into action in proposing the new sale yards on the coveted land north of Church Street. The passive resistance by the Town of Geelong in proposing the sale yards on the Kildare site appears to have been one factor in causing the separationist movement to temporarily fade. Yet, it also caused delays in the finalization of the land selection for the new sale yards.

Formal Acquisition of the Kildare Site

On 24 September 1867, the Market Committee Minutes of the Corporation of Geelong (Geelong Town Council) record that the Committee is 'to inspect land at Kildare suitable for Cattle Markets [and is to be] accompanied by the Town Surveyor.'²⁵ Just two days later on 26 September 1867, the site had been confirmed and the Committee recommended to Council:

... that application be made to Government for portion of that piece of land known as the Kildare Reserve (allotment no. 73) for the purpose of erecting Corporation Cattle Sale Yards thereon, and that the present Reserve at South Geelong, whereon the Corporation Cattle yards are erected be surrendered to the Government in lieu of the piece now recommended to be applied for.²⁶

On 13 March 1868, a deputation had been appointed by the Council to confer with the Victorian Government to negotiate the acquisition of land at Kildare in exchange for the release of reserved land at South Geelong.²⁷ It was argued that the site in Kildare would enable the erection of 'more suitable and convenient Cattle Yards for the use and benefit of the Town generally',²⁸ particularly given its close proximity to the cattle stock route. On 23 November 1868, the crown land comprising allotment 73 in the Parish of Moorpanyal, was reserved for the Corporation Cattle Market.²⁹

On 11 October 1870, the Town of Geelong also purchased the freehold to the neighbouring land to the north of the market reserve, comprising allotment 74, being 36 acres, as shown on the Certificate of Title (Appendix 8.11).³⁰ This land had been sold by Edward Barrett who had purchased it on 20 April 1869 from the first crown land purchased, Peyton William Clement.³¹

25 Geelong Town Council Market Committee Minutes, 25 September 1867, GRS 853/1-5, Geelong Heritage Centre.

26 Geelong Town Council Market Committee Minutes, 26 September 1867, op.cit.

27 Geelong Town Council Market Committee Minutes, 13 March 1867, op.cit.

28 Ibid.

29 Geelong Sale Yards, Department of Sustainability & Environment Crown Land file, Geelong.

30 Certificate of Title, vol. 376, fol. 018, 11 November 1870, Landata online, 2007.

31 Ibid.

Further Political Contention over Sale Yards Site

Although it is not known whether the acquisition of both the crown reserve and the freehold land in Kildare in 1869 and 1870 by the Geelong Town Council for a Cattle Market was the impetus for a revival of the separationist movement, the Council's plans became highly contentious. In 1869, a Municipal Corporations (Amending) Bill was brought before the Victorian Parliament which included the power for the separation of the Thomson ward from the Town of Geelong.³² Not surprisingly, the Geelong Town Council showed deep concern given that the cattle yards and also abattoirs (neighbouring the cattle yards) were being established. For the next five-six years, the Geelong Town Council fought on the question of the boundary line, unwilling to concede the whole of the Thomson ward because of its newly-established cattle and sheep yards.

While the amending Bill provided the opportunity for the residents of the Thomson ward to realize their efforts towards separation, it did not preclude the Geelong Town Council the right to oppose it.³³ It was not until 1874 when Edwin Hopton of Fyansford (and a member of the Town Council), fought for the separation of Geelong West. He 'was a strong fighter in a cause of this kind.'³⁴ He bitterly attacked other members of the Council as outlined by Brownhill:

At a meeting held in the St. George-hotel, Pakington-street ... he said that in 1863 they had been defeated by the treachery of certain members of the Town Council, and now similar tactics were being employed to defeat them again. A Corporation clique was trying to delay the proclamation of the Borough by denuding it of one-third of its rightful territory. The people of Thomson ward could with better grace and more justice ask for an additional share of the town to be included in the proposed Borough in order to give it strength and symmetry. The Corporation had no right to establish its cattle yards in Thomson ward when it was fully aware that the ratepayers of the ward were fighting for separation. The meeting passed the following resolution: "That this meeting pledges itself that it will not accept any altered boundary for the new Borough and that it will use its best endeavours to secure the legitimate area which by right belongs to the ward."³⁵

Robert de B. Johnstone, M.L.A., supported the separationist's resolution.³⁶ His colleague in the Victorian Parliament, Graham Berry, was also in full sympathy of the separationists' cause.³⁷ Although Parliament had not anticipated any changes to the boundaries of the Thomson ward and the proposed Borough of Geelong West, debate ensued about two paddocks required for the cattle yards and abattoirs. According to Brownhill, 'an amendment to the Bill had been inserted to enable the Governor-in-Council to adjust the proposed boundaries so that no injustice would be done to the town of Geelong if it could be shown that this would occur by including the two paddocks in the new Borough.'³⁸

32 Brownhill & Wynd, *op.cit.*, p.107.

33 *Ibid.*, pp.107-108.

34 *Ibid.*, p.107.

35 *Ibid.*, pp.107-108.

36 *Ibid.*, p.108.

37 *Ibid.*, p.108.

38 *Ibid.*, p.108.

On 29 May 1875, the Borough of Geelong West was created.³⁹ The boundaries of the new municipality had been “adjusted” to exclude the cattle yards and abattoirs at Kildare.

2.3.2 Initial Building Developments

Location, Construction & Layout of Yards

It was as early as December 1868 when the Geelong Town Council’s Market Committee resolved that Alderman Mathews and the Town Surveyor, Robert Balding ‘be deputed to visit Ballarat and Melbourne if necessary for the purpose of examining the Cattle Markets at these places as to their construction, utility and other matters connected therewith and report thereon to this committee.’⁴⁰ Balding visited both the Ballarat and Melbourne cattle yards in the ensuing days, and had taken notes and plans of these sites. On 8 January 1869, he reported to the Market Committee the following:

I have the honour to report that I have examined the Cattle Yards at Melbourne and Ballarat, for information as to the best mode of constructing those which you require at the New Cattle Market reserve near Church Street.

I beg to lay before you a plan of the Allotment showing the portions occupied by certain churches and for police station and the part proclaimed for Market purposes. I have also laid out the Sheep and Cattle pens in pencil, the former to accommodate 5000 sheep and the latter from 250 to 300 cattle. You will see by the plan that the Wesleyan Church reserve very much interferes with the approaches to, and the construction of the Cattle Yards in consequence of the gully which runs through the grounds. If that reserve is fenced in the only approach to the yards for cattle would be by Raven Street which would be very inconvenient. If the Corporation could make arrangement whereby that reserve could be secured as an addition to the ground already granted, it would be invaluable.

I would strongly advise that all the posts should be of Red Gum timber and the rails of sawn timber (hardwood).

The plan which I have laid out is capable of extension to any extent as far as the ground will allow.

I estimate the cost of constructing the Cattle Yards with 60 pens would be about ... £1100.0.0

Sheep yards with 128 pens £800.0.0

Offices for salesmen £120.0.0

Pulling down fence at old sale yards and refixing the same with new posts £162.0.0

Water troughs £20.0.0

Constructing dam for water hole and pitching race £80.0.0

£2282.0.0

=====

It would cost about £300 to pitch the Cattle Yards but I do not think that it will be necessary for some time to come as the present surface is very hard and good for the purpose.⁴¹

39 *Proclamation of Geelong West as a Town*, Souvenir booklet published by the Town of Geelong West, 22 March 1922.

40 Geelong Town Council Market Committee Minutes, 10 December 1868, op.cit.

41 R. Balding, ‘Report no. 384’ in Geelong Town Council Market Committee Minutes, 8 January 1869, op.cit.

Balding's initial (revised) plan for the cattle and sheep yards is provided as Figure 2.04. The plan shows that the cattle yards were to be situated immediately north of the Wesleyan Church reserve (approximately opposite the existing Geelong West grandstand today), with the sheep yards situated further north, but immediately south of Fishermans Gully.

The Market Committee approved Balding's concept and sought tenders for supplying the necessary red gum and blue gum timber posts and other timber and material required for building the new yards on 21 January 1869.⁴² The Committee also instructed the Town Clerk to write to the Rev. Mr Bickford 'to ascertain whether the Wesleyan body would be disposed to part with the 2 acres of land belonging to them adjoining the Cattle Market Reserve and if so, upon what terms would such disposition be made.'⁴³ Apart from the Rev. Bickford replying indicating that he will be absent from Geelong and was unable to give an immediate response,⁴⁴ no further Committee Minutes or other records clarify the eventual outcome of the Committee's request. It appears that the Geelong Town Council took steps to purchase the freehold land north of the Cattle Market Reserve at this time (allotment 74, as previously discussed).

No original drawing by Balding has been found for the layout of the sale yards on its existing site north of Fishermans Gully on allotment 74. The alternative, permanent location of the yards was different in size and configuration from that originally proposed by Balding. It is clear that the sale yards were laid out on the existing site as in August 1869 application was made by the Market Committee to the neighbouring property owners on the east and west of the Cattle Market Reserve (Messrs. Manifold and Mr Ibbotson respectively) for half of the cost of erecting dividing fences.⁴⁵ No such application was made to Rev. Bickford of the Wesleyan Church because the cattle yards was now very distant from the Church Reserve and was also separated by Fishermans Gully. By 1919, the original location of the yards adjacent to the Wesleyan Church Reserve was known as Herd's Paddock as shown on a plan by H.L. Tisdall, Geelong City Surveyor (Figure 2.05).

The earliest plans showing the layout of the sheep and cattle yards is dated c.1914 (Figures 2.06-2.06a). This layout represented an enlarged sale yards operation, although the original overall configuration is clearly discernible. A central roadway separated the sheep and cattle yards as part of the original layout. The sheep yards were situated on the south side of the roadway, while the cattle yards were to the north. Both the sheep and cattle yards were generally arranged according to a lineal configuration of paired rows of rectangular pens (see later subsection for details of the alterations and additions). The plans of c.1914 (Figures 2.06-2.06a) also show the locations of larger yards at the front of both the sheep and cattle pens (fronting Weddell Road). Additional larger sheep pens were situated near the western boundary and trees were planted in this vicinity. Other larger cattle pens were built along the northern perimeter of the cattle yard.

42 Ibid & *Geelong Advertiser*, 21 January 1869, Geelong Heritage Centre.

43 Geelong Town Council Market Committee Minutes, op.cit.

44 Geelong Town Council Market Committee Minutes, 14 January 1869, op.cit.

45 Geelong Town Council Market Committee Minutes, 20 August 1869, op.cit.

The pens and gates at the sale yards were constructed of timber post and rails of red and blue gum timber.⁴⁶ The substantial timber posts were punctuated by horizontal timber rails through narrow slots. The gates were reinforced with diagonal braces. The general vernacular design of the pens, gates and ramps appears to have been virtually identical to the drawing (Figure 2.07) of the proposed pig and cattle market pens, probably for another site in Geelong. An early specification for a stockyard post and rail fence reads as follows:

The posts and rails of split eucalyptus should be 18 inches (450 mm) to 2 feet (600 mm) wide, standing 7 feet (2150 mm) out of the ground and 2 feet (600 mm) into it, the post holes well rammed. The rails are from 9 230 mm) to 15 inches (380 mm) broad, and from 3 (75 mm) to 5 inches (125 mm) thick; care should be taken to fill up the mortises well; the rails are about 9 feet (2750 mm) in length and not more than 6 (150 mm) or indeed 4 inches (100 mm) apart. When the rails and posts are fairly up, the top rail being about 6 feet (1830 mm) from the round and the bottom one not more than 6 inches (150 mm), the cap (or capping) is put on. A stout round sapling is fixed upon, from 18 (1550 mm) to 20 feet (6000 mm) in length if procurable, if not shorter, just sufficiently long to pass over 2 or 2½ panels. This is generally morticed and the tops of the posts being tennoned and then the heavy sapling is dropped on. It consolidates the fence, holding the panels together laterally; the height is then raised to 7 feet (2150 mm) which hardly any cow or bullock will try to jump. It will last secure for 20 or 30 years and defy any cattle, even youngest calves.⁴⁷

It also appears that the sheep and cattle yards at the Geelong Sale Yards were originally unpaved as indicated in the Town Surveyor's report in 1869.

The plans also show the location of the sheep dip, at the eastern end of the sheep yards. The sheep dip appears to have been constructed in 1869.

Original Buildings

Cattle Market Offices Building

The earliest purpose-built building on the sale yards site appears to have been the construction of the Cattle Market offices in 1869. A newspaper article by the *Geelong Advertiser* reporting the opening of the yards on 7 September 1869 suggests that the building was incomplete at this time. The original building appears to have comprised five stock agents' offices, together with a kitchen and bedroom for the market inspector.⁴⁸ The *Geelong Advertiser* indicated that 'a large Marquee was erected [for the opening celebratory luncheon] near the future residence of the market inspector.'⁴⁹ The Market Committee Minutes for 7 October 1869 reveal the existence of the building by this time. The Town Surveyor, Robert Balding, proposed to provide refreshment accommodation by 'setting apart and fitting up No. 4 and No. 5 Offices, and building a fire place in one of them and fixing a window in the west side.' According to Balding 'these two offices are not required by the Salesmen neither are they likely to be for some time to come.'⁵⁰

46 *Geelong Advertiser*, *op.cit.*

47 H. Palmer, *Fencing Australia*, Australian Landmark Series, Longmans, Melbourne, 1961 quoted in R. Peterson, *Fences & Gates c.1840-1925: Technical Bulletin 8.1*, National Trust of Australia (Victoria), Melbourne, 1988, p.12.

48 See Figure 2.08. Later proposals have been overlaid on the original drawing, which are discussed later in this Report.

49 *Geelong Advertiser*, 7 September 1869, Geelong Heritage Centre.

50 Geelong Town Council Market Committee Minutes, 7 October 1869, *op.cit.*

The earliest drawing of the Cattle Market Offices building (Figure 2.08) shows the original design, together with later proposed alterations and additions superimposed. The extent of the original building is defined by the bold lines on the front elevation drawing. It shows that the timber weatherboard building featured an elongated hipped roof form, projecting front skillion verandah supported by noticeably large timber posts and a brick kitchen chimney at the southern end. The building was accessed by two four paneled timber doors, the northern-most door provided access to the five agents' offices and the southern-most door defining the entrance to the market's inspector's quarters. It was lit by four timber framed multi-paned windows on the front elevation, together with a series of windows on the rear (west) elevation and side elevations. The drawing (Figure 2.08) also graphically suggests that the main roof was originally clad in slate (given the coloration and horizontal lines), with the front verandah constructed of corrugated galvanised iron (given the vertical lines).

No other original buildings at the sale yards site have been documented. In 1873, there was a proposal to construct a new cottage for the 'keeper',⁵¹ but this does not appear to have been built. The existing former Gate Keeper's cottage at the eastern end of the sheep yards appears to have been built in the 19th century. The small gabled building acted as a gate keeper's cottage at the Geelong Sale Yards in the second half of the 20th century, although its provenance prior to this time is unknown.

2.4 Evolution of the Kildare Sale Yards

Alterations & Additions to Yards

During the 19th, 20th and 21st centuries, the sheep and cattle yards at the Geelong Sale Yards have retained their original layout and general character by virtue of the continued use of similar vernacular design techniques, even though some 20th and 21st century alterations have been introduced. The laying of bluestone pitchers and asphaltting of the yards appears to have been carried out in the 19th and early 20th centuries, given that the yards were originally unpaved. The construction of open bluestone spoon drains – drained to Fishermans Gully to the south – may also have been carried out in the 19th century.

As early as 1871 the Market Committee approved the purchase of fencing from the 'old sheep yards belonging to Messrs Guthrie Bullock & Co' (this nearby property abutted the Ballarat Road and Church Street).⁵² In 1873, the Town Surveyor proposed the construction of 12 covered pens for the sale of pigs and the erection of six new pens for the sale of store cattle, together with one large receiving yard to the north side of the then cattle pens.⁵³ These works appear to be shown as Figure 2.07, although no evidence of the covered pig pens survive today.

In 1879, a cattle shed was proposed and authorized by the Market Committee.⁵⁴ However, this did not quell the growing discontent amongst the cattle salesmen and local butchers who presented a petition to the Markets

51 Geelong Town Council Market Committee Minutes, 16 January 1873, op.cit.

52 Geelong Town Council Market Committee Minutes, 30 August 1871, op.cit.

53 Geelong Town Council Market Committee Minutes, 16 January 1873, op.cit.

54 Geelong Town Council Market Committee Minutes, 11 July 1879, op.cit.

Committee in December 1879 for the construction of calf pens.⁵⁵ In January 1880, 8 calf pens were authorized for erection, together with the construction of a roof over the cattle yard platform.⁵⁶ The fence on the west side of the pig pens was to be lowered and a seven foot shelter fence (120 feet in length) erected.⁵⁷

Few other changes to the pens at the sale yards are known until the early 20th century. In 1906, hand rails were placed around the cattle pens at an estimated cost of £125.⁵⁸ In April 1910, the Market Committee approved the addition of 24 sheep pens (that were to be pitched throughout), along with a receiving yard, drafting yards and race.⁵⁹ Eighteen additional cattle pens were also provided. While this work had been approved, it was not completed in the immediate term and the Geelong Associated Stock and Station Agents Committee resolved that the 'Council be written to again and asked to have the pens divided at once.'⁶⁰ In return, the Stock and Station Agents Committee were prepared to compromise on the impending renovation of the Market Office building, with the associated costs to be used for the improvements to the pens instead.⁶¹ During this same time, the tender of R.C. Moodie had been accepted by the Market Committee for filling and tar paving the sheep pens at a cost of £81.9.0⁶² (Figure 2.09). In 1913, 36 additional sheep pens 'and a suitable number of yards' were erected.⁶³ By c.1914, there were 200 sheep pens plus 16 large sheep pens near the west boundary and 22 large sheep yards to the east (fronting Weddell Road) (Figures 2.06-2.06a). There were also 72 regular cattle pens with 63 small and large cattle pens (adjoining the regular pens to the north and east). There were four large yards to the east. The extent and layout of the sale yards appears to have remained unchanged until at least 1919 (Figure 2.10).

With the onset of the motor vehicle in the early 20th century came the need for cattle and sheep races. The earliest-known drawing of a timber cattle loading race at the sale yards is dated 18 October 1929 (Figure 2.11). It shows the race (or ramp) built of solid timber posts having timber rails and a sloping timber platform with raised timber battens for gripping. Only one original cattle race that may date from 1929 survives at the sale yards today.

By 1942, there had been further alterations and additions to the sheep pens and yards, as shown in a plan for pen numbering (Figure 2.12). The evolving nature of the sheep and cattle yards continued in the second half of the 20th century. After 1956, the closure of the Geelong tram system brought about the acquisition of discarded steel tram tracks that had been removed from Geelong roads.⁶⁴ From this time until the late 20th century, the steel tracks were used to

55 Geelong Town Council Market Committee Minutes, 16 December 1879, op.cit.

56 Geelong Town Council Market Committee Minutes, 8 January 1880, op.cit.

57 Ibid.

58 Geelong Town Council Market Committee Minutes, 12 February 1906, op.cit.

59 Geelong Town Council Market Committee Minutes, 14 April 1910, op.cit.

60 Geelong Associated Stock & Station Agents Minutes, 17 November 1910, Tom Phillips, Agents' representative to the City of Greater Geelong & Secretary, Geelong Sale Yards Advisory Group.

61 Ibid.

62 Geelong Town Council Market Committee Minutes, 5 July 1910, op.cit.

63 Geelong Town Council Market Committee Minutes, 19 August 1913, op.cit.

64 See D.J. O'Neil, *History of the Geelong Electric Tramways 1912-1956*, self published, 1995, pp.76-77.

replace or support early timber posts. They were also used to replace the posts of the sheep shed over the long bluestone drain in the sheep yard.

In 1965, another substantial change was proposed. The closure of the abattoirs brought about the proposal to construct an enclosed pig yard with adjoining bobby calf section and offices (Figure 2.13). A stock race from the abattoirs was also to be relocated for use. A truck wash had been installed near the Weddell Road frontage by this time. By 1976, a broad gabled building had been built over a new pig yard (Figure 2.14). In subsequent years the truck wash was located to the east of the sheep yards.

Since the late 20th century, the bluestone pitchers in many of the sheep and cattle pens have been covered with a concrete slurry. These concrete finishes have been introduced to overcome injuries to stock. After c.1990 following the earlier closure of the abattoirs, timber posts and rails and other material were recycled for use at the Sale Yards.⁶⁵

Infrastructure

It appears that as early as 1869 Balding proposed the building of a dam immediately north of the junction of Fishermans Gully and its tributaries, on reserved land (allotment 73)⁶⁶ (Figure 2.04). He also proposed the construction of an adjacent bye-wash. The gully was faced in timber at this time.⁶⁷ Approval was given for repairs to the Bye-wash in 1870, which included the construction of brick-lined faces set in concrete.⁶⁸ In 1879, rains caused water seepage through the timber faces of the 'large gully' which had the potential to undermine the dam.⁶⁹ The gully was subsequently repaired and another brick, stone and concrete bye-wash built. It was not until late 1962 when substantial works were carried out to the gully which had badly eroded.⁷⁰ The Geelong City Council undertook considerable filling of the gully after the introduction of a barrel drain.⁷¹

Other 19th and 20th century infrastructure works included the provision of drains, water pipes and troughs. Apart from the bluestone inverted channels that were laid out to drain to the gully, water was laid on in 1880 and two stand pipes were erected, together with the installation of two horse troughs.⁷² These troughs were in addition to those introduced at the opening of the sale yards in 1869. Several troughs have been replaced and others introduced throughout the 20th century.

In the late 20th century, run off from the Sale Yards was blamed for unacceptably high pollution levels at the popular Rippleside beach.⁷³ This

65 Peter Bohling, Sale Yards Supervisor, City of Greater Geelong, personal comment, 17 April 2007, to David Rowe.

66 Geelong Town Council Market Committee Minutes, 8 January 1869, op.cit.

67 Geelong Town Council Market Committee Minutes, 19 April 1870, op.cit.

68 Geelong Town Council Market Committee Minutes, 17 May 1870, op.cit.

69 Geelong Town Council Market Committee Minutes, 19 June 1879, op.cit.

70 Geelong Sale Yards Crown Land File, typed manuscript, p.2, op.cit.

71 Ibid.

72 Geelong Town Council Market Committee Minutes, 8 January 1880, op.cit.

73 'Saleyards Future in Doubt' in the *Geelong Advertiser*, 5 August 1998, p.5, Geelong Sale Yards Crown Land file, op.cit.

caused the construction of an effluent pit in the south-west corner in c.2005, adjacent to the gully.⁷⁴

Building Developments

Alterations & Additions to Cattle Market Offices

It was as early as 1869 when alterations to the newly-completed Cattle Market Office building were proposed. A refreshment room had not formed part of the original design and yet the Market Committee had received two petitions for the selling of refreshments at the Sale Yards site.⁷⁵ The Town Surveyor, Robert Balding, proposed internal alterations to Nos. 4 and 5 offices within the building (Figure 2.08) at a cost of £12.⁷⁶ The eventual outcome was the addition of a dining room and kitchen on the north side of the building.⁷⁷ It appears that these additions were carried out at this time as by early February 1870 tenders were being considered for leasing the refreshment room.⁷⁸

In 1873, the Town Surveyor recommended that a new cottage be erected for the use of the keeper (inspector).⁷⁹ This cottage may not have been constructed.

Five years later in 1878, the kitchen floor in the Market Office building (adjoining the refreshment room) was in a state of disrepair. A tar composition was laid at a cost of £2 instead of the more expensive tiled floor (estimated to cost £3).⁸⁰

In February 1880, the Town Surveyor prepared an addition for two rooms to the southern end of the Market Office building for the caretaker and his family. The caretaker – whose family included his wife and 5 or 6 children – had been living in two rooms, including a room 15 feet x 12 feet and a bed room 12 feet 6 inches x 9 feet.⁸¹ After deliberating on the matter in April 1880, the Market Committee only allowed the addition of one room at the southern end of the building, measuring 15 feet by 14 feet,⁸² as indicated in Figure 2.08. The Committee also recommended the raising of the dining room roof by 3 feet.⁸³ This is suggested on the amendments to the original elevation drawing (Figure 2.08) whereby the annotation on the roof portion reads “Roof to be replaced with Gal Iron per Specification”. The probable slate roof cladding was therefore replaced at this time.

By 1910, the Offices building (including the offices, dining and kitchen) were dilapidated.⁸⁴ The office accommodation was also considered to be too limited.

74 Peter Bohling, op.cit.

75 Geelong Town Council Market Committee Minutes, 20 August 1869, op.cit.

76 Geelong Town Council Market Committee Minutes, 7 October 1869, op.cit.

77 It is suggested that a dining room and kitchen were added to the north of the existing building (instead of internal alterations to Nos. 4 and 5 Offices) because this proposal is shown on the plan (Figure 2.08) and the Geelong Town Council market Committee Minutes for 20 June 1878 confirmed that the kitchen was attached to the Refreshment Room. If there had been internal alterations to Nos. 4 and 5 Offices, the kitchen would have been distant from the Refreshment Room.

78 Geelong Town Council Market Committee Minutes, 4 February 1870, op.cit.

79 Geelong Town Council Market Committee Minutes, 16 January 1873, op.cit.

80 Geelong Town Council Market Committee Minutes, 20 June 1878, op.cit.

81 Geelong Town Council Market Committee Minutes, 19 February 1880 & 1 April 1880, op.cit.

82 Ibid.

83 Ibid.

84 Geelong City Council Market Committee Minutes, 9 March 1910, op.cit.

Repairs were proposed at a cost of £300, but in late 1910 the City Surveyor stated that the building was 'in very bad repair and should be rebuilt.'⁸⁵

New Market Offices & Dining Room

Simultaneous to the consideration of repairing the Market Offices building was the suggestion of erecting an entirely new structure. As early as April 1910, the City Surveyor reported to the Market Committee the option of constructing a brick building 51 feet by 51 feet, featuring four offices for salesmen, one market office and one clerk's office, each being 10 foot 6 inches by 9 foot six inches.⁸⁶ The total cost for the new building was estimated at £1200. However, J.W. Toyne, lessee of the Geelong Sale Yards and representative of the Geelong Stock and Station Agents, stated that in his opinion £200 to £300 'should be ample for the offices.'⁸⁷ Two years elapsed before the City Surveyor, H.L. Tisdall, submitted plans of the proposed Market Offices and Dining Room building to the Geelong Associated Stock and Station Agents.⁸⁸ These drawings appear to represent the existing building on the site today.

Tenders were called for the construction of the new Offices Building in December 1912.⁸⁹ In January 1913, the Geelong Associated Stock and Station Agents requested that the Market Committee organize temporary office arrangements 'during the term of erection of the new offices.'⁹⁰ By April 1913, the Secretary of the Geelong Associated Stock and Station Agents sought clarification from the Geelong City Council 'as to how the new offices were to be allotted among the agents.'⁹¹ Five months later in September 1913, a letter was received by the Market Committee from A. Olney asking 'that a cellar be placed under the bar at the Refreshment Rooms at the Cattle Yards.'⁹² The Surveyor, Tisdall, reported that the cost of a cellar 10 feet by 6 feet and 6 feet 6 inches high would be £40.⁹³

While these Minutes suggest that a new building was certainly a high priority with all the preparations for the construction of the building completed, the actual permanent structure does not appear to have been built. Intriguingly the Market Committee Minutes for 24 November 1913 include the following:

On a letter from Hagelthorn & Bolton, stating that the arrangements made for temporary offices at the Cattle Markets are satisfactory, and stating that they will be glad if the Council will push on with the erection of permanent offices.

Although a new building had been provided that included agents' offices, a dining room and bar, no historical evidence has been found that clearly reveals the existing building today to be the permanent (as opposed to a temporary) building. Physical evidence suggests that the existing building at the Sale Yards site was built in c.1913.

85 Geelong City Council Market Committee Minutes, 5 December 1910, op.cit.
 86 Geelong City Council Market Committee Minutes, 14 April 1910, op.cit.
 87 Ibid.
 88 Geelong Associated Stock & Station Agents Minutes, 23 November 1912, op.cit.
 89 Geelong City Council Market Committee Minutes, 16 December 1912, op.cit.
 90 Geelong Associated Stock & Station Agents Minutes, 25 January 1913, op.cit.
 91 Geelong City Council Market Committee Minutes, 21 April 1913, op.cit.
 92 Geelong City Council Market Committee Minutes, 23 September 1913, op.cit.
 93 Ibid.

Other Buildings

Stables

An elongated stables may have been built as early as 1869. It was situated to the north of the Market Offices and Refreshment Room in c.1914, as shown in Figures 2.06-2.06a. The building was demolished in the 20th century.

Sheds

Neighbouring the existing Offices and Dining Room building to the north is a galvanised steel shed. This building was originally situated to the south of the Offices building⁹⁴ and may have originally been constructed at a latrine shed at the time of the building of the existing Offices structure in c.1913.

A small number of other cattle, sheep and store sheds were constructed at the Sale Yards site in the 19th and early 20th centuries.⁹⁵ These include the existing gate keeper's building situated to the east of the sheep yards. The provenance of this building has not been ascertained, but it appears to have been constructed in the late 19th century.

Other buildings constructed on the site in the 20th century include the rendered brick toilet block in the central roadway in 1941⁹⁶ (Figure 2.15) and the pig sheds (and associated pens within) and adjoining office building to the east of the cattle yard in c.1976 (as previously discussed) (Figure 2.14).

Land Transfers

Two years after the opening of the Geelong Sale Yards, the Geelong Town Council sought to lease 26 acres of adjoining land to the west of the Sale Yards site. Agreement appears to have been reached with the owner, James Austin (through Austin's attorney, W.H. Bullivant) in 1871.⁹⁷ This land was to be leased to the Geelong Town Council as part of its cattle market purposes for 10 years at a rental of £13 per annum.⁹⁸ Together with the 36 acres of freehold land (allotment 74) and the 25 acres of reserved land (allotment 73), the total land then forming part of the Geelong Sale Yards site amounted to 87 acres (35.21 hectares). The extent of this land included the access road to the Sale Yards between Victoria Street to the north and Church Street to the south. It was originally known as the northern extension of Raven Street (which had been laid out on the south side of Church Street in the mid 19th century).⁹⁹ The thoroughfare was later known as Abattoirs Road (after the Council's abattoirs had been laid out in the south-east corner of allotment 74) and later gain between 1962 and 1964, as Weddell Road (after Cr Reginald Ernest Weddell, Councillor to the Geelong City Council between 1937 and 1949¹⁰⁰).

In 1976, the Geelong City Council subdivided its freehold land (allotment 74) into 6 allotments,¹⁰¹ given that the abattoirs had closed and been dismantled. The Council retained lot 6 (which still had a southern frontage to Victoria Street)

94 See Figures 2.06 and 2.06a.

95 See Geelong Town Council Market Committee Minutes, 1869-1880 and 1906-1925, op.cit.

96 See Plan of Sewerage Installation of Cattle Yards, showing new toilet block, 6 January 1941, Geelong Council Plans collection, A502, Geelong Heritage Centre.

97 Geelong Town Council Market Committee Minutes, 19 July 1871, op.cit.

98 Geelong Town Council Market Committee Minutes, 19 September 1871, op.cit.

99 See Figure 2.04.

100 S. Zada, Biographical Family Report for Reginald Ernest Weddell, June 2007.

101 Certificate of Title, vol. 376, fol. 018, L.P. 115783, & Certificate of Title, vol. 9143, fol. 500, 15 June 1976, op.cit.

that included the sale yards (see Appendix 8.10). The original 14.57 hectares (36 acres) was reduced to 9.072 hectares. The Council also appears to have ceased any leasing of neighbouring land by this time. The freehold land was further subdivided into two allotments in 1987, with the extent of the Sale Yards reduced to 6.055 hectares¹⁰² (see Appendix 8.10).

There were also reductions in the reserved land forming the southern portion of the Sale Yards site (south of Fishermans Gully). By 1962, the “Cattle Market” reserve on the original allotment 73 forming the southern portion of the Sale Yards had been reduced to 10 acres, 2 roods and 37 perches (approximately 4.1 hectares).¹⁰³ Part of the original southern portion of the reserve was acquired by the neighbouring Geelong Golf Club.¹⁰⁴

2.5 The ‘Social’ Yards

Opening of the Geelong Sale Yards

On the cool Monday morning of 6 September 1869, the Geelong Sale Yards were officially opened. A marquee had been erected for the partaking of a ‘tastefully arranged luncheon’ provided by a Mr Bennett of the market square.¹⁰⁵ Because of the interest in the Sale Yards – both as a result of their much anticipated value to the Geelong community and due to the previous political debates that had raged in previous years - the *Geelong Advertiser* ran two separate stories on the opening the following day. One article described at length of the various speeches of the official guests, the opening being presided by the Mayor of the Town of Geelong. The second article was more succinct and circumspect in its message, but certainly indicated the importance of the event, the large number of people that attended and the first sales:

The formal opening of the new cattle yards at Kildare yesterday, was witnessed by between one and two thousand persons. Seldom has anything the Corporation has done created such a deal of interest. There were three mayors present, we do not know how many aldermen and councillors, two members of the Upper House, and four M’s.P. A number of speeches were made, but these were necessarily short, and as will be found by a report which appears elsewhere, singularly uninteresting, in fact it was too early in the morning to make good speeches, beside which, the salesmen wished to proceed with their usual weekly business as quickly as possible. Everybody appeared to be convinced that the markets are a great success, and many got elated upon the strength of it. The first bullock was sold by Mr Buckland, salesman to Mr George Synnot, to Messrs Mathews Bros., for £12 15s; this is not an extraordinary price, but fully £3 more than the beast was worth. It was intended that the first beast sold should be the finest in the yard, but as this was in Messrs Roadknight and McKenzie’s lot, and as Mr Buckland had won the toss for first sale, the intention could not be carried out. It is a pity an arrangement was not made for Councillor Ducker, who is also an auctioneer, to sell the first bullock. This would, perhaps, have done away with any jealousy on the part of the cattle salesmen.¹⁰⁶

102 Certificate of Title, vol. 9724, fol. 139, 28 January 1987, op.cit.

103 Geelong Sale Yards Crown Land file, op.cit.

104 Ibid.

105 *Geelong Advertiser*, 7 September 1869, op.cit.

106 Ibid.

The mix of business and pleasure (the selling of stock and the social interaction between stock and station agents and farmers) at the opening instigated a tradition that has become synonymous with the Geelong Sale Yards. Throughout the 19th and 20th centuries and to the present day, the sale yards have played a critically important social and cultural role for the farmers and stock agents of Geelong and district. In the 20th century, and particularly after post War immigration, this social interaction has taken on multi-cultural dimensions. Further details on the development of the social culture of the Sale Yards are given in a following subsection.

Management and Control of the Yards

Geelong Town Council & Market Committee

The management and control of the operations of the Geelong Sale Yards initially rested with the Geelong Town Council, through its Market Committee.¹⁰⁷ Until 1869, several separate public and private market sites had existed throughout Geelong (see Section 4 for further details). The opening of the Geelong Sale Yards provided a single location for the sale of livestock for the first time, managed by the Corporation of Geelong. The importance of a single location was recognized by Mr Jeff Buckland, stock salesman, at the opening ceremony:

He had always been desirous of seeing the sales conducted in one yard, as he had felt that it would be better both for owners and for buyers, and the latter would not be obliged to run from one yard to another as they have hitherto had to do, but would be able to see at once what there was for sale, and to buy without trouble.¹⁰⁸

Under Bye Law No. 28, the Corporation of Geelong had the statutory authority to approve or refuse licenses for the sale of livestock.¹⁰⁹ This authority appears to have assisted its cause in establishing a single yard.

The Sale Yards were open for business every Monday.¹¹⁰ The Council had appointed an Inspector of the Cattle Markets in August 1869. His duties were to:¹¹¹

- Take charge of the markets and carry out the Rules and Regulations for the Government as listed in Bye Law No. 28.
- Collect the tolls and dues arising from the markets and forward the takings to the Treasurer of Council.
- Reside at the Markets.
- Provide the Market Committee with a monthly return showing quantity and description of stock places in the Cattle Yards for sale (with the name of the Salesmen also shown), the amount of stock sold and not sold, and the amount of fees received and paid to the Treasurer.

Initially, the Council used its discretion and waived charges to stock owners for housing unsold sheep at sale days.¹¹² This Council discretion soon ended in 1871 when it was brought to the attention of the Market Committee that certain

107 See Geelong Town Council Market Committee Minutes, op.cit.

108 *Geelong Advertiser*, op.cit.

109 Geelong Town Council Market Committee Minutes, 16 October 1867, op.cit.

110 There were also sales on Thursdays for a short period during the late 20th century, according to the users of the Sale Yards.

111 Geelong Town Council Market Committee Minutes, 11 August 1869, op.cit.

112 Geelong Town Council Market Committee Minutes, 17 September 1869, op.cit.

parties had been yarding sheep in the Sale Yards and afterwards taking them outside the property to sell, avoiding the payment of Market fees.¹¹³ In one instance, over 650 sheep had been sold.¹¹⁴ The Council swiftly re-introduced fees for yarding both sold and unsold sheep and lambs at the Sale Yards.¹¹⁵

Lessees of the Sale Yards

In 1872, the Geelong Town Council gave up possession of the Geelong Sale Yards, establishing a long period of leasing the operations. The first lessee of the yards was a Mr Webster, who paid monthly rent of £92.10.0.¹¹⁶ The leasing of the Sale Yards required a rearrangement of the duties of the Inspector. In addition to his previous duties, the Inspector was also required to supervise the cleanliness and general state of the yards and the buildings.¹¹⁷ By 1880, the Sale Yards had been rented to Messrs Bannerman and Jarman.¹¹⁸ In 1895, they were leased to J. Toyne. This lease was extended for five years in 1908 at £950 rental per annum.¹¹⁹

It appears that the Sale Yards were leased throughout the 20th century, possibly until the closure of the neighbouring Abattoirs, when the City of Geelong again took possession of operations and appointed its own Supervisor.

Stock & Station Agents

General Background

Critical to the successful operation of the Sale Yards for both stock owners and butchers, and generally the Geelong community's food chain, was the involvement of the Geelong Stock and Station Agents. From the opening day in September 1869 stock and station agents transacted business at the yards and occupied offices in the Market Building, while the livestock was auctioned by their sellers from one of the elevated timber sellers' planks or sheltered walkways above the yards. In addition to the Market fees associated with the yarding and selling of the stock, nominal rentals were charged to the Agents for the occupation of the Market Offices building.¹²⁰ This nominal rental continues in 2007.

The Stock and Station Agents played an important role in the formative years of the operation of the Geelong Sale Yards, as indicated through the Market Committee's Minute Books. It appears that there was an informal association of Stock and Station agents in Geelong throughout the 19th century. In 1910, a constitution, rules, conditions and regulations were established by Messrs Crowl and Chamberlain for the inauguration of the Geelong Associated Stock and Station Agents.¹²¹ This association acted on behalf of the Agents in relation to improvements in conditions and negotiating fees by Council. By 1912, the annual Agent's fee was £15 for the use of the offices.¹²² The

113 Geelong Town Council Market Committee Minutes, 28 March 1871, op.cit.

114 Ibid.

115 Geelong Town Council Market Committee Minutes, 13 April 1871, op.cit.

116 Geelong Town Council Market Committee Minutes, 18 January 1872, op.cit.

117 Ibid.

118 Geelong Town Council Market Committee Minutes, 22 January 1880, op.cit.

119 Geelong Town Council Market Committee Minutes, 7 February 1908, op.cit. & Geelong Associated Stock & Station Agents Minutes, 9 May 1913, op.cit.

120 See Geelong Town Council Market Committee Minutes 1867-1925, op.cit.

121 Geelong Associated Stock & Station Agents Minutes, 1910, op.cit.

122 Geelong Associated Stock & Station Agents Minutes, 30 November 1912, op.cit.

Association was also responsible for the collection of revenue from the Refreshment Room, part of which was forwarded to the Geelong Council.¹²³

Although there have been many Stock and Station Agents that have played an important part in the evolution and development of the Geelong Stock Yards, some of the 19th century pioneers include the following:

Richardson Family¹²⁴

Possibly the longest association with the Geelong Sale Yards has been the Richardson family, through their stock and station agency. John Richardson, a druggist, was appointed Clerk of the South Barwon Shire Council on 19 September 1859. This began his long record of service in that position that was later continued by his son, Horace Frank Richardson. For several years, John Richardson was a Member of the Victorian Legislative Assembly. It was during this term as a Member of Parliament that he assisted with the establishment of the Geelong Sale Yards. At the opening of the yards in 1869, was an official guest and made a speech. The Geelong Advertiser reported this as follows:

He was glad to see the corporation sale yards completed. He had originally given them some assistance in getting the land, and had taken a great interest in their subsequent action ... The Corporation of Geelong had undertaken many works which had been unrenumerative, but the new cattle yards he believed would quickly repay them.¹²⁵

Horace Richardson (Figure 2.16) became an equally important civic leader, politician and businessman of Geelong. Born in 1854, he was educated at Geelong College and in 1873 he was employed by the Geelong branch of the Liverpool, London and Globe Insurance Company. In 1876, he replaced his father as Secretary and Treasurer of the South Barwon Shire Council. By 1884, Richardson established a highly successful insurance and commission agency. Two years later in 1886, he arranged with the lessee, J.W. Sommers, to use part of the Exhibition Building in Market Square to hold weekly sales of farm and dairy produce. This began the Geelong Grain and Produce Exchange which developed into the largest enterprise of its kind in Victoria. In 1899, he transferred his business to a commodious new building on the southern side of Little Malop Street, facing Market Square (Figure 2.17). Sales were held on Tuesdays, Thursdays and Saturdays (there were no sales on Mondays as this was the day set aside for sales at the Corporation Cattle Yards). Significantly, Richardson won a protracted High Court battle against the Geelong Town Council involving the abolition of market dues. In 1911, he was presented with a cheque towards his legal expenses by grateful local producers.

H.F. Richardson's political career was equally noteworthy. In 1884, he was elected as a Councillor to the Geelong Town Council, serving as Mayor between 1894 and 1896. He became a Councillor of the South Barwon Shire Council in 1897 and served as President in 1900-01, 1908-09 and 1914-15. He was elected a Member of the Victorian Legislative Council in 1912. H.F.

123 Ibid.

124 Biographical details for the Richardsons are taken from the following (unless otherwise sourced): Brownhill & Wynd, *op.cit.*, p.97, 'Richardson, Horace Frank, (1854-1935) in the Geelong Biographical Register, Geelong Historical Society, Parliament of Victoria online at www.parliament.vic.gov.au, & S. Zada, Biographical Family Report for Horace Frank Richardson, June 2007.

125 *Geelong Advertiser, op.cit.*

Richardson died in 1935, survived by his wife, Edith and three sons. H.F. Richardson's grain and produce business appears to have continued throughout the 20th century by his sons, including the stock and station agency, with regular business being transacted at the Geelong Sale Yards. It is continued in 2007 by John Richardson.

John Toyne (Toyne Brothers and Walsh)

John Toyne was associated with the Geelong Sale Yards for 40 years. He was lessee of the Sale Yards for around 18 years from 1895 until 1913.¹²⁶ Upon his retirement in February 1913, a presentation was made by representatives of the Geelong Associated Stock and Station Agents at his home in North Geelong.¹²⁷ The esteem held by the wider community of Mr Toyne was recognised by the *News of the Week* newspaper, which featured a photograph of Mr Toyne and the auctioneers at the Geelong Sale Yards in February 1913 (this photograph was presented to Toyne upon his retirement) (Figure 2.18). On his death in May 1913, the Geelong Associated Stock and Station Agents Minutes recorded the following biographical details:

The death of Mr John Toyne which occurred at his residence, Walker street, North Geelong, on Thursday last, the 9th May, has removed from our midst one of Geelong's best known and widely respected citizens.

The late Mr Toyne was a colonist of 55 years standing, having arrived here in the year 1858 at the age of 17 years, and the remainder of his life was practically spent in Geelong. He had been associated with the Corporation Cattle Yards and Abattoirs as lessee for 18 years, and prior to that time, had for many years, been employed as foreman by the late firm of Bannerman and Jarman.

The deceased gentleman retired from business on the 12th February last, and the members of the Geelong Associated Stock and Station Agents, to mark their appreciation of the manner in which he had conducted the business of the Geelong Corporation Cattle Yards and Abattoirs, made him the recipient of an illuminated address and other presentations.

Mr Toyne was admired and respected by all with whom he came in contact, and his name will long be remembered by the great many with whom he had business dealings. He was familiarly known to stock salesmen from the rails as "J T", and he always carried the highest respect and esteem of agents, butchers, and graziers for his straightforwardness and honourable business principles. Always of a charitable nature, calm disposition, and kind manner, his day's work was completed with the same evenness with which it was begun, and despite the fact that he was continuously dealing with various classes of the community, it can be truly said that his friends were innumerable, and his enemies none.

It was the custom of the late Mr Toyne to follow the Monday stock sales from beginning to end, and, being a large buyer himself, it was by this method that agents and vendors were all treated alike.

Much sympathy is expressed for Mrs Toyne and her family (two of the sons Messrs John W and Herbert Toyne are members of the firm of Toyne Bros and Walsh, and Mr W R Toyne the present superintendent of the yards and abattoirs) in their sad loss, for it is known by the life just departed that a loving husband and honourable parent has been called away.

The Toyne Bros. and Walsh offices were situated at the western end of Malop Street in c.1920 (south side) (Figure 2.19). In 1937, this stock and station

126 Geelong Associated Stock & Station Agents Minutes, 9 May 1913, op.cit.

127 Geelong Associated Stock & Station Agents Minutes, 17 February 1913, op.cit.

agency was sold to Elders, who operated from the same building¹²⁸ (Figure 2.20).

George Synnot & Messrs Guthrie Bullock & Co.¹²⁹

George Synnot Jnr. was the son of George Synnot, prominent and early Geelong stock and station agent and wool broker. He commenced business in Geelong in the 1840s. Wool sales were held at Synnot's stores in Clare Street, Geelong from 1858. In 1861, Synnot took Thomas Guthrie into partnership. They built stock sale yards on 36 acres of land at Drumcondra that was owned by Guthrie. Weekly sales were held at this site, and with C.J. Dennys, they were founders of the Geelong wool market.

Thomas Guthrie had arrived in Victoria in the 1850s and became a gold buyer at the Ballarat diggings. Having joined George Synnot's stock, station and wool broking firm in Geelong, he soon became a brilliant auctioneer. After the dissolution of the partnership with Synnot in 1866, Guthrie retired from wool broking.

Thomas Guthrie's brother, David Guthrie, went into partnership with Richard Bullock in 1867, becoming Messrs. Guthrie Bullock & Co. Born in Berwickshire Scotland, David Guthrie was appointed a managing clerk soon after arriving in Geelong between 1855 and 1857. In 1858, he joined Dalgety Ibbotson and Co., wool brokers.

Richard Henry Bullock was born in London around 1819. He became an auctioneer, entering into partnership with his father, Edward, as E. and H.R. Bullock. The firm's offices were in High Holborn, London. By 1853, Bullock had emigrated to Geelong where he advertised his auctioneering business from the corner of Gheringhap and Little Malop Street.

Refreshment Rooms

From 1870, a Refreshment Room had been provided in the Market Office building (originally known as a dining room, added within months of the opening of the building in September 1869). From this time, it became the social hub of the Geelong Sale Yards for farmers, other stock owners, agents and others associated with the live stock industry. The original social function of bringing all the parties together in an atmosphere of friendship and respect continues in 2007.

The first lessee of the Refreshment Room in February 1870 was Matthew Doyle of the Telegraph Hotel.¹³⁰ He paid £5.4.0 rent for six months.¹³¹ Doyle initially had unwanted competition, given that an unauthorized business had been established in the Sale Yards that included the selling of 'Lemonade, Soda-water, Gingerbeer, etc'.¹³² Just a few months later in May 1870, the Market

128 Interviews by Susie Zada with agents, agents' representatives, producers/farmers and other users and visitors to the Geelong Sale Yards, April & May 2007.

129 Biographical details for George Synnot and Messrs Guthrie Bullock & Co are taken from: Brownhill & Wynd, *op.cit.*, p.120, Wynd, *op.cit.*, pp.27-28 & 43, S. Zada, Biographical Family Report for Richard Henry Bullock, June 2007 and S. Zada, Biographical Family Report for David Guthrie, June 2007.

130 Geelong Town Council Market Committee Minutes, 20 August 1869, *op.cit.*

131 Geelong Town Council Market Committee Minutes, 4 & 8 February 1870, *op.cit.*

132 Geelong Town Council Market Committee Minutes, 30 March 1870, *op.cit.*

Committee noted that Doyle was two weeks in arrears of his rent.¹³³ He was notified that unless the rent was paid, he would be prevented from occupying the Refreshment Room. After the 6 months lease expired in August 1870, Doyle was unsuccessful in being awarded a new tender and the new lessee of the Refreshment Room was Mr Pelley at £0.10.0 per week.¹³⁴

The construction of new Market Offices in 1913 also included an improved Refreshment Room as well as a Bar area. A. Olney won the tender for the new rooms in April 1913 with an annual rental of £131.5.0.¹³⁵ A hot water service was provided in 1914.¹³⁶ A year later in 1915, the Market Committee resolved to prohibit 'one of the lessees of the offices ... utilizing a "Primus" stove for the purpose of supplying tea to the Clerks and friends at the Cattle Yards.'¹³⁷ This was considered to be against the rules of the Sale Yards as it infringed upon the rights of Olney. Permission was granted to Olney in 1919 for charge £0.2.0 per meal, with a Bill of Fare posted in the Refreshment Room.¹³⁸

In 1937, the City of Geelong prepared 'Conditions for Leasing the Kitchen, Dining Room and Bar, together with the furniture and fixtures therein'. A copy of the conditions is provided as Appendix 8.11. Interestingly, the Council had resolved that the charge for meals was not to exceed two shillings per person per meal and that meal times were to be fixed. Breakfast was to be served from 7.45 a.m., with Lunch from 12 noon.

Social Interaction¹³⁹

The Geelong Sale Yards was a centre of social interaction for farmers, stock agents and others associated with the livestock industry from the opening day in September 1869. For nearly 140 years, farmers from the area spanning Apollo Bay, Meredith, Ballan, Bacchus Marsh, Werribee and Melton have regularly attended the weekly Monday sales at the Geelong Sale Yards. Four to five generations of farmers have visited the Sale Yards to carry out business and catch up with friends. Although the numbers of farmers and agents that attended the Sale Yards in the 19th century have not been ascertained, the tradition of the Sale yards as a social meeting place continues today. On average, there are 300 people at the Sale Yards each week. In good and bad times, the farmers and the agents have used the Refreshment Room and Bar at the Sale Yards to counsel each other. For some isolated farmers, the regular Monday sales have been the only opportunity to meet up with each other (Figure 2.21). Importantly, the yards have acted as an educational centre throughout the years, whereby farmers have discussed that types of crops best to sow, methods of surviving drought and other specific issues affecting them. In recent years given the drought conditions, the Sale Yards have proved vital for maintaining the spirits of the farmers.

The Geelong Sale Yards have recently been termed the 'Social Yards' by Murray Arnel, journalist of the *Stock and Land Journal*. This term has been

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- 133 Geelong Town Council Market Committee Minutes, 27 May 1870, op.cit.
 134 Geelong Town Council Market Committee Minutes, 22 August 1870, op.cit.
 135 Geelong Town Council Market Committee Minutes, 21 April 1913, op.cit.
 136 Geelong Town Council Market Committee Minutes, 25 May 1914, op.cit.
 137 Geelong Town Council Market Committee Minutes, 25 May 1915, op.cit.
 138 Geelong Town Council Market Committee Minutes, 16 December 1919, op.cit.
 139 Interviews by Susie Zada with agents, agents' representatives, producers/farmers and other users and visitors to the Geelong Sale Yards, April & May 2007

given to the Geelong site because of the solid support of local producers. It has become one of few Sale Yards that services smaller farmers with a contextually small number of stock. During this difficult drought period, the Geelong Sale Yards has been considered by the local producers as a 'good steady market', not because of any major highs, but because there are steady sales as a result of the support each of the sellers has given.

The social nature of the Geelong Sale Yards was first indicated in the Geelong Associated Stock and Station Agents Minutes in 1923. The Geelong agents had arranged a social cricket match in Geelong with their Ballarat counterparts. In 1923, a rematch had been organized, to be played in Ballarat.

The social network established at the Geelong Sale Yards has also witnessed the development of multicultural interrelationships and broadened the livestock sold at the yards. The provision of an area for the sale of poultry (chickens, ducks and geese in particular) has drawn the local migrant population of the Sale Yards. This first began in c.1980 when one of the buyers brought some geese to sell and there was high demand. This demand has continued until this day, as up to 200 people can congregate at the poultry shed when the Ford Motor Company has its rostered days off. Importantly, these developments have brought about a number of multicultural friendships between the traditional farming sector and the Chinese, Croatian and Macedonian producers. An extraordinary camaraderie has transpired in the Refreshment Room and Bar between the migrant and local-born producers.

SECTION 3

3.0 Physical Evidence

SECTION 3

3.0 Physical Evidence

The following analysis should be read in conjunction with the Photographic Keys provided as Appendix 8.01. The first section of the Physical Evidence provides an overview of the site and its setting. Fabric of potential heritage value is then described in further detail in subsequent subsections.

Specific condition and conservation issues for most of the building fabric at the Sale Yards are provided in the Schedules as Appendix 8.05.

3.1 Setting

The Geelong Sale Yards front onto Weddell Road and comprise 6.055 hectares of gently sloping freehold land, together with a small portion of reserved land immediately to the south (Photo 3.01). It is surrounded by a high chain mesh fence with access gates on the Weddell Street frontage. The site is especially characterised by the sheep and cattle pens which traverse the bulk of the southern portion of the land and which are separated by a bitumen roadway (Photo 3.01). At the western end of this thoroughfare is the early 20th century Market Offices building (Photo 3.02). This building is a central feature on the site. Immediately neighbouring the Market Offices building to the north is a small early 20th century former Latrines shed (formerly situated to the south of the Market Offices) (Photo 3.03), along with other late 20th century flat-roofed sheds (Photo 3.04). Adjoining the eastern end of the sheep yards is a small Victorian gabled gate keeper's cottage that appears to be the earliest building on the site (Photo 3.05). To the east of the cattle yards is a substantial shallow-gabled pig market building (Photo 3.06). This building is currently used for poultry, ferret and goat sales.

The northern portion of the Sale Yards site is largely comprised of an open, flat grassed area. The southern section of the area is graveled and provides access to the car park for the neighbouring Target Office building, together with access to the northern area of the Sale Yards. Some trees are located about the perimeter.

The southern portion of the Sale Yards site is defined by a larger, now disused, sheep yards. Fishermans Gully forms the southern boundary which is flanked by trees and shrubs. Further physical analysis may reveal surviving archaeological fabric associated with the brick-lined dams, bye-washes and sheep washes. In the south-east corner of the Sale Yards is the recent concrete-lined effluent pit.¹⁴⁰ To the north-east of this pit may be archaeological evidence of the original sheep dip that has been covered in to create an open graveled access area for livestock trucks. An introduced truck wash is situated at the north-east corner of the sheep yards.

140 According to Peter Bohling, the solids from the effluent pit are removed and placed in the neighbouring paddock leased by the adjoining Sphinx Hotel. This process has Environment Protection Authority (EPA) approval.

3.2 Cattle Yards (Photos 3.07-30)

The cattle yards comprise a large rectangular area on an east-west axis defined by paired rows of regular cattle pens separated by internal walkways (that also form inverted drains which receive constant use after the regular washing out of the pens). Access to each pen is mainly by an internal walkway and not from the longitudinal perimeter boundaries. Each paired row of pens is separated by elevated covered walkways. The eastern portion of the cattle yards is defined by larger pens or yards. The possible original extent of the cattle yards and the later additions, are shown as Drawing 1.04 (Appendix 8.01).

The original construction for the fencing of the pens is especially identified for pens 1-5 and 43. These pens feature substantial square hardwood posts 250 x 250 mm having narrow vertical slots (mortices) which take the horizontal timber rails (Photos 3.08-12, 3.17). The pens have early timber gates being rectangular in form and of similar construction as the pen fencing, although they are reinforced by a diagonal timber brace and have a swiveling post. The more intact pens also feature early bluestone pitcher paving stones. Traversing the tops of the fencing on the east-west axis are early timber walk planks once used by auctioneers.

Similar fencing construction is revealed throughout most of the cattle yards, although there have been some alterations. Specific changes have been made in the replacement of horizontal timber rails, fence posts and pen paving.

The variations in the pen fencing include the following:

- Introduced steel posts (former rail and tram tracks) (Photo 3.13-16).
- Timber fence rails attached to the side of the posts (timber or steel) (Photo 3.13).
- Replacement timber rails through the timber posts (to match original design) (Photo 3.09).
- Introduced hollow steel posts with introduced timber rails attached by bolts (Photo 3.19).
- Different types of hinged hollow tube steel gates (Photo 3.16).
- Introduced elevated steel walkways with balustrades (these have replaced the early single timber walk planks (Photo 3.11)).

The variations in the pen paving include the following:

- Early bluestone pitchers with introduced concrete slurry (the slurry has broken down in various places) (Photos 3.08, 3.28-29).
- Early bluestone pitchers with fibrous cement slurry (Photo 3.20).
- Introduced concrete paving.
- For the pens nearer to Weddell Road, saw dust and dirt is used as a pen covering, which provides for less cleaning (the saw dust and dirt requires less frequent replacement).

The cattle yards are also identified by two, slightly elevated and covered walkways (Photos 3.22-3.25). These elongated walkways have shallow-curved (barrel-vaulted) galvanised corrugated steel roofs. The covered walkways are supported by hardwood timber posts and have timber floor substructures with introduced asphalt floor finishes.

Condition

Most of the timber pen fencing is in fair condition. It shows signs of weathering to varying degrees. In particular, the bases of many timber posts have rotted, as have several timber rails. The introduced concrete slurry to areas of paving, including the inverted drains in the walkways, is cracked and breaking down. This is due to the abrasive nature of the livestock and the frequent cleaning.

The covered walkways are in poor condition. The timber subfloor structures have rotted causing the introduced asphalt surfaces to fall in on at least one area. This in turn has caused a trip hazard. The bases to the timber posts have rotted and the galvanised corrugated steel roof cladding has rusted substantially.

Integrity

The bulk of the cattle yards are substantially intact to the 19th century. There have been yards added on the north and eastern fringes, but the general configuration relates to the original design. Overall, the layout of the cattle yards are considered to be of high integrity.

The construction of the yards has been altered over time, although the original (1869) timber construction of posts and rails and gates, the bluestone pitcher paving survives in several pens. Introduced timber posts and rails and steel posts and rails and gates are noted throughout the yards. The introduced fabric contributes to the evolution of the yards. Overall, the construction detailing of the cattle yards are considered to be of moderate-high integrity.

3.3 Sheep Yards (Photos 3.31-44)

The sheep yards share a similar lineal configuration as the cattle yards, but are smaller in scale per pen and in the height of the fencing and gates (Photo 3.44-47). Each pen opens into an internal walkway, with more substantial yards towards the eastern end. All of the sheep pens appear to have experienced some change, particularly in relation to paving and/or fencing. Intact fabric includes the bluestone pitcher paving, with timber fence posts having timber rails through their centres (Photo 3.38, 3.44). No pens feature original timber gates, with all the gates being introduced hollow tube steel gates. Timber walk planks have been replaced with steel walkways, except for the disused pens where they remain intact.

The variations in the pen fencing include the following:

- Introduced steel posts (former rail and tram tracks) (Photo 3.33).
- Timber fence rails attached to the side of steel posts (Photo 3.34).
- Replacement timber rails of different types of timber (Photo 3.37).
- Introduced hollow steel posts with introduced timber rails attached by bolts.
- Different types of hinged hollow steel gates (Photo 3.36).

The variations in the pen paving include the following:

- Early bluestone pitchers with introduced concrete slurry (Photo 3.43).
- Introduced concrete paving.

Between the smaller sheep pens and the larger yards at the eastern end is an open, elongated shed having a gable roof clad in galvanised corrugated steel (Photos 3.40-42). The shed appears to have been constructed in the early 20th century. The original timber posts have been replaced with steel tram tracks. An early bluestone spoon drain traverses the length of the shed, having a starting point near the central thoroughfare and ending near Fishermans Gully to the south of the site (Photo 3.44).

Larger pens are located at the western end of the sheep yard. These pens are shaded by a row of mature Ash trees. There are also larger pens to the south and east of the main portion of the sheep yard.

Condition

The fencing to the sheep pens has weathered throughout the yards. The fencing, gates and paving in the northern portion of the pens appears to be in fair condition. The southern portion of the yards, including the larger yards towards the southern boundary (the yards laid out in the 20th century) is now disused and dilapidated. These yards are in very poor condition.

Integrity

The sheep yards have predominantly retained their original extent and layout pattern. Additional pens have been introduced on the northern, southern and eastern fringes. Larger yards have also been introduced on the southern side. The larger yards near the western boundary of the property, which are shaded by a row mature Ash trees, appear to be original. Overall, the layout of the yards is of moderate-high integrity.

The construction of the sheep pen fencing is a mix of original timber posts and rails, together with introduced steel posts, some hollow tube steel rails. The hollow tube steel gates have also been introduced. The paving to the pens is also a mix of bluestone pavers and concrete slurry, or complete concrete paving. Overall, in terms of construction, the sheep yards are of moderate integrity.

3.4 Ramps (Photos 3.45-52)

At the eastern ends of the cattle and sheep yards are stock ramps. These ramps are elevated above ground, with concrete and/or timber lined retaining walls forming the perimeter to the yards and ramps. A number of the cattle ramps have early timber posts, but with introduced timber palings and ramped floors and bluestone bases. There are also ramps supported by steel posts (former tram tracks) and sheet metal side panels.

Of the number of ramps surviving, there only appears to be one structure that may date from the interwar period (this seems to be the period when ramps were introduced at the Geelong Yards). This ramp has square timber hardwood posts with horizontal rails through its centres and iron plates and angles at the front and sides (Photos 3.49, 3.51). There is a timber floor with raised narrow timber battens (Photo 3.50). The floor has been replaced to the original design.

Condition & Integrity

Most of the ramps appear to be in fair-poor condition, with evidence of movement in the introduced bluestone bases, rotting of timber posts and rails and general weathering.

All except one ramp in the cattle yard section have been substantially altered and/or introduced. The most intact ramp is constructed largely in timber and is of moderate integrity. The ramped timber floor has been introduced, but it appears to follow the original design and construction.

3.5 Market Offices Building (Photos 3.53-124)

The single storey, early 20th century vernacular Market Offices building has an elongated roof form aligned on a north-south axis. This roof terminates into a gambrel at the northern end, at the junction of a small gabled wing which projects eastwards (Photo 3.73). At the southern end of the building are smaller hipped roofed wings that project to the east and south (Photos 3.55-60). These roof forms are clad in galvanised corrugated steel. An early pressed brick chimney and introduced brick chimney are situated at the southern end of the building and once serviced the kitchen within (Photo 3.74). Lapped, green painted galvanised corrugated steel comprises the external wall cladding for the building. Other early features include the timber framed four paned double hung windows (Photo 3.3.60), v-jointed vertically boarded timber doors (Photo 3.66) and the projecting verandah along the main (east) façade which forms an extension of the main roof and which is supported by rudimentary square timber posts (Photo 3.02). These posts appear to have been introduced, as does the elevated asphalt verandah floor (Photo 3.77).

Internally, the Market Offices building is comprised of five stock and station agents' offices, with a bar room, refreshment room, kitchen and store to the south of the offices and a small Secretary's office, and employees' lunchroom and bathroom to the north of the offices. Access was not gained to every office, but it was explained by an officer of the City of Greater Geelong that each office is identical in design and construction.¹⁴¹ The offices are substantially intact and feature original coved v-jointed timber lined ceilings with original ceiling flues and timber scotia mould cornices (Photos 3.81-85). The walls are also constructed of original stained v-jointed timber boards (attached horizontally) having original angled timber skirtings (Photo 3.83). The offices are divided into two spaces each by original v-jointed stained timber internal walls (Photo 3.82). Two internal v-jointed timber doors (including the bronze door knobs and plates) are also original and provide access from the front public spaces to the rear offices (Photo 3.89). Other original features in the main public spaces of the offices include the four paned timber framed double hung windows (Photo 3.84), v jointed timber exterior doors, simple timber window and door architraves, built-in timber sales benches (Photo 3.86), wall-mounted timber shelving (for paperwork (Photo 3.88) and timber in-trays on the sales benches. The rear, more private working offices feature original timber bench seats (Photo 3.90) and timber writing desks (Photo 3.91).

The Bar area is a larger space having a painted, original coved v-jointed timber lining board ceiling with original ceiling flues (Photos 3.92-95). There is evidence on the ceiling and by the introduced wall skirtings that an internal wall

141 Only the office of H.F. Richardson was inspected. From discussions with Peter Bohling, Supervisor, Geelong Sale Yards, it is assumed that the Offices have identical existing early fabric.

has been removed from the centre of this space (Photo 3.95). This suggests that the Bar area was extended to the north, subsuming an earlier Stock and Station Agents' Office. The walls of the Bar area are also painted and constructed of v-jointed timber lining boards, having plain timber skirtings (Photo 3.94). The floor is constructed of original timber boards, which is exposed for the majority of the space, apart from some introduced vinyl covering around the introduced bar counter in the south-west corner (Photo 3.95). There are original timber framed four paneled timber hung windows with original simple timber architraves (Photo 3.97). The double doors on the east wall (of v-jointed timber construction) are consistent with the other original doors within the building, but may have been introduced at the time of conversion into a Bar (Photo 3.98). The single flush panel timber doors on the south and east walls have been introduced. The bar counter, sinks and basins relating to the Bar function have also been introduced.

Adjoining the Bar area to the south is the Refreshment (Dining) Room. This room has painted original coved v-jointed timber lined ceiling with timber scotia mould cornices and ceiling flues (Photos 3.99, 3.105-106). The v-jointed timber lining board walls are also original, as are the angled timber skirtings (Photo 3.103). The floor is constructed of timber boards with introduced vinyl covering over. The four paned timber framed double hung windows are original, as are the simple timber window architraves. The flush panel internal doors on the north wall have been introduced. The external entry door off the verandah (once a double door opening) has been altered into a single door opening (Photo 3.102).

On the south wall is a single door opening and hatch opening to the kitchen (Photo 3.104). This space has identical ceiling and wall construction as the Refreshment Room, together with original v jointed timber doors on the south and east walls (Photos 3.107-110). There is an altered original painted brick kitchen fireplace on the south wall, together with an introduced fireplace (the western-most fireplace appears to have been introduced in the mid 20th century) (Photos 3.113-114). The concrete hearth also appears to have been introduced. To the east of the kitchen is a store room. It was not accessible at the time of the site visit.

At the northern end of the Offices building is a lunch room, small office and bathroom. The lunch room has similar internal construction as the other interiors, including a painted, original coved timber v-jointed lining board ceiling with timber scotia mould cornices, v-jointed timber lining board walls with angled timber skirtings, timber floor boards (with introduced vinyl covering) and v jointed timber door (with original door furniture) on the west and north walls (Photos 3.119-122). This room appears to have originally been a stock and station agent's office, given the similar design and construction and two internal door openings on the west wall. The north door appears to have an introduced flush panel finish on the northern face. The lunch room is lit by an introduced aluminium framed window on the north wall.

The bathroom appears to have been introduced or substantially altered, with introduced cement sheet ceiling and wall finishes, concrete floor, built-in shower cubicles and basin (Photo 3.123).

The small office to the east of the lunch room also has identical construction as the other interiors of the building. There is an original covered v-jointed timber lined ceiling with timber scotia mould cornices, v-jointed timber lined walls with angled timber skirtings, timber floor boards (with introduced vinyl covering), timber framed two paned double hung window with simple architraves and an original v-jointed timber door. The timber writing desk appears to be early, as does the ceiling flue.

Condition & Integrity

Condition

Generally, the exterior of the Market Offices building is in poor condition. The corrugated galvanised steel roof and wall cladding have rusted, the timber fascias, baseboards, and window frames, sashes and sills have substantially weathered or rotted. The timber verandah posts have weathered, as have the bases to the v-jointed office doors.

Internally, the stock and station agents offices are largely in fair-good condition. There is a considerable lean to the interior wall of the H.F. Richardson office, together with evidence of previous falling damp and weathered timber window frames and sashes. The Bar area, Refreshment Room, Kitchen and store at the southern end of the building are in very poor condition. Major structural deterioration has caused substantial warping of walls, floors and ceilings, with window and door openings out of alignment, considerably sloping floors and weathered timber window frames and sashes. The northern lunch room and office are in fair condition.

Integrity

Overall, the exterior and interior of the Market Offices building is substantially intact. It appears to reflect the early 20th century vernacular design in detail and construction. This is especially apparent internally in the agents' offices, with ceiling, wall and floor linings, original sales benches, shelving, in-trays and furniture intact. Exceptions include the introduced concrete verandah floor on the exterior and the introduced bar, missing wall (bar area) and upgraded (now dated) kitchen fixtures and fittings.

3.6 Former Latrines Shed (Photos 3.125-131)

To the north of the Market Offices building is an early 20th century vernacular former Latrines Shed. It has a hipped roof form clad in galvanised corrugated steel and galvanised steel quad gutters (Photos 3.125-127). The rudimentary building is also constructed of green painted galvanised corrugated steel wall cladding, with a v-jointed vertically boarded timber door on the east wall (Photo 3.125). Internally, the building has a concrete floor and exposed timber roof structure (Photos 3.128-131). The walls are lined with ripple iron cladding with early timber lattice screens above (the screens are approximately 1 metre high, directly below the eaves). There are early boarded timber shutters over the east and west lattice screens (Photo 3.130). An early ventilation opening survives in the roof space.

This building was originally situated to the south of the Market Offices building. It may have originally been a latrines sheds. The design and construction of the building is very similar to the Market Offices building and appears to have been built at the same time.

Condition & Integrity

The former latrines shed is in fair-poor condition. The corrugated sheet metal wall cladding – and especially the roof cladding – has rusted, as has the capping and gutters. The timber fascias and external timber framing to the lattice screens have rotted. Internally, the timber base boards have also rotted.

Overall, the former latrines shed is of moderate-high integrity. Although the building has been relocated from its original location on the site, the overall form and construction is representative of its early 20th century vernacular design.

3.7 19th Century Former Gate Keeper's Cottage (Photos 3.122-139)

Situated at the eastern end of the sheep yards is a small late Victorian gabled building. The steeply pitched roof is clad in galvanised corrugated steel with original half round gutters (Photos 3.133-135). The building features timber bargeboards and a turned timber finial on the west façade (the finial on the eastern apex of the gable is missing) (Photos 3.133-134). The building appears to have been a gate keeper's cottage and is constructed of horizontal timber weatherboards. There is an early timber framed window opening in the west elevation (the glazing is missing) (Photo 3.135), while on the west elevation the early window opening has been boarded over (Photo 3.134). On the south elevation is a double door opening with vertically boarded timber doors (the western door has introduced galvanised corrugated steel sheeting over its lower reaches) (Photo 3.136). The building is accessed by a bluestone step.

Internally, the building has an early exposed timber floor with beaded edged timber lining board walls and coved beaded edged timber lining board ceiling. There is an early painted brown dado on the walls (Photo 3.138). The interior also has an early timber writing bench.

According to Peter Bohling, this building was occupied once a week by the care taker, Mervyn Ruby of Batesford, in the 20th century. A push button at the gate activated a bell that alerted Mervyn to open the gate for the truck driver arriving with the delivery of livestock.

Condition & Integrity

The former Gate Keeper's cottage is in very poor condition. The timber bargeboards, fascias, finial, window frames and doors have rotted or substantially weathered, the galvanised corrugated steel roof cladding has rusted, the timber floor structure has substantially deteriorated and the timber bottom plates and wall studs have rotted. The early window is missing glazing while another window opening has been blocked up.

Overall, the former Gate Keeper's cottage is of moderate-high integrity, although it appears to have been relocated from an unknown location. Although in poor condition, the original design and construction of the building is still very apparent.

3.8 Interwar Toilet Block (Photos 3.140-142)

Located on the northern boundary of the central thoroughfare of the Geelong Sale Yards is the interwar toilet block. The rectangular structure has parapeted, stuccoed brick walls. At the east and west ends are introduced metal deck screens.

SECTION 4

4.0 Cultural Significance

SECTION 4

4.0 Cultural Significance

4.1 Introduction

The following comparative analysis establishes an historical and social context for the Geelong Sale Yards. Together with the Historical Evidence and Physical Evidence in Sections 2 and 3 of this Report, the comparative analysis has assisted in the preparation of a Statement of Significance in Section 4.5.

The comparative analysis investigates the following:

- Contextual Background of Early Markets & Sale Yards in Geelong.
- Newmarket (Melbourne) & Ballarat Sale Yards.
- Inventory of Rural Sale Yards in Victoria.

4.2 Contextual Background of Early Markets & Sale Yards in Geelong

4.2.1 First Cattle Yards, South Geelong

On 21 August 1838, the first survey plan of the Town of Geelong was prepared by the Government Surveyor, Robert Hoddle and his assistant, Henry Wilson Hutchinson Smythe.¹⁴² The town layout included the area between Corio Bay and the Barwon River. Concentration of development was anticipated to be to the north (fronting Corio Bay) and to the south (fronting the Barwon River). The easy supply of water (given that a breakwater had been built across the Barwon by Captain Foster Fyans in 1837)¹⁴³ was one of the principal reasons for the potential intensity of development to the south of the town area.

The first survey plan of Geelong shows a proposed cattle market reserve in the far south-east corner, noted by the reference marked “D” (Figure 4.01). The specific inclusion of the proposed reservation on the survey plan underlies the necessity and importance of the cattle market to the fledgling economy of the Geelong township. By 1843, the number of stock depastured in the district for the half year amounted to 17,701 head of cattle.¹⁴⁴ In addition, there were also 536,768 sheep and 1129 horses.¹⁴⁵ In 1889, the importance of cattle markets in late Victorian life was highlighted in a sketch in the *Illustrated Australian News* (Figure 4.02) by Heiner Egersdorfer.

Although there were some minor alterations to the original survey of Geelong, allotment 4 was reserved for Cattle Market purposes, in the approximate location originally proposed by Hoddle. The reserve amounted to 4 acres and three roods, situated on allotment 4a (Figure 4.03). The establishment of the Corporation of Geelong (Geelong Town Council) in 1855 brought with it Bye-Law No. 28 for the Regulation of Markets.¹⁴⁶ This Bye-Law gave the Geelong Town Council the statutory authority to grant or refuse permission to sell or expose for sale cattle and other livestock at any yard on private property.¹⁴⁷ The Geelong Town Council Market Committee Minutes for April 1867 record

142 Brownhill & Wynd, *op.cit.*, pp.11-12.

143 *Ibid.*

144 *Ibid.*

145 *Ibid.*

146 Geelong Town Council Market Committee Minutes, 16 October 1867, *op.cit.*

147 Geelong Town Council Market Committee Minutes, 5 September 1867, *op.cit.*

that the South Geelong Cattle Yards were leased to John McKenzie of Fiffe and McKenzie on an annual basis for £305 per annum. With Council's consideration of the Kildare site at this time, McKenzie protested 'against the establishment of any other market' as he considered the proposal an infraction of his lease and injurious to his interests.¹⁴⁸

The Geelong Town Council proceeded with its proposal to establish the Kildare yards in the ensuing months. In March 1868, the Town Clerk was requested to 'confer with the Government relative to an exchange of the land in South Geelong now used for Cattle Market, for a portion of land in Kildare for same purpose.'¹⁴⁹ The expiration of McKenzie's lease on 31 August 1869 witnessed the closure of the first cattle market in Geelong.

It was also from 31 August 1869 when the Geelong Town Council sought to control the sale of all cattle and sheep at its new site at Kildare.¹⁵⁰ Notice was given that sales and exposure of cattle, sheep or other stock within the Corporation limits except the new cattle markets would not be permitted.¹⁵¹

4.2.2 Other Corporation Market Reserves in Geelong Market Square

The earliest Market Reserve in Geelong was Market Square, situated between Moorabool and Yarra Streets and punctuated by Little Malop Street. Originally a swamp, half of the land was reserved as a public square in 1845.¹⁵² The reservation gazetted that the use of the Square be restricted to market purposes.¹⁵³ In 1855, Market Square was the location of a fruit and vegetable market.¹⁵⁴ A town clock was installed in 1856 and in 1859 Market Buildings was constructed to a design by Messrs Young and Honey.¹⁵⁵ By the 1870s, the building was defunct and in 1879 it was replaced with the Exhibition Buildings for the Industrial and Juvenile Exhibition.¹⁵⁶ Between 1910 and 1913, the Victorian Parliament and the Geelong City Council gave approval for the construction of shops on the frontages of Market Square.¹⁵⁷ In 1930, a market was again established at Market Square, consisting of shops, booths and stalls. This market slowly went out of existence until recent years, when a farmers' market was established once a month in Market Square.

Hay & Corn Market Reserve

In 1865, a Hay and Corn Market was reserved in Myers Street (Figure 4.03). Pigs were later sold at this market. The market closed in the 20th century.

4.2.3 Private 19th Century Stock Yards in Geelong

A number of private stock yards had been established near the northern outskirts of the Town of Geelong around the mid 19th century. In 1861, George Synnot built stock yards on 36 acres of land at Drumcondra.¹⁵⁸ Six years later

148 Ibid.
 149 Geelong Town Council Market Committee Minutes, 30 March 1868, op.cit.
 150 Geelong Town Council Market Committee Minutes, 20 August 1869, op.cit.
 151 Geelong Town Council Market Committee Minutes, 11 August 1869, op.cit.
 152 Brownhill & Wynd, *op.cit.*, pp.124-125.
 153 *Ibid.*
 154 *Ibid.*, p.126.
 155 *Ibid.*, p.129.
 156 *Ibid.*, p.131.
 157 *Ibid.*, pp.131-132.
 158 *Ibid.*, p.120, Wynd, *op.cit.*, pp.27-28 & 43,

in 1867, Messrs. Guthrie, Bullock & Co. sought permission to establish cattle markets at the intersection of the railway, bridge, Church Street and Melbourne Road.¹⁵⁹ The Market Committee subsequently gave permission, but only for the sale and exposure of sheep.¹⁶⁰ Other cattle yards established in the 1860s included those in Church Street, Kildare, owned by Messrs McKenzie & Roadknight, together with the nearby yards of W.S. Howell and Donald McAndrew.¹⁶¹

The enactment of Bye-Law No. 28 by the Geelong Town Council in 1869 after the opening of the new Corporate Cattle Yards at Kildare caused a furor with the private cattle salesmen. They each petitioned the Market Committee seeking permission to sell and expose cattle (tame and broken).¹⁶² Initially the Committee granted permission, so long as the prescribed tolls and dues were paid. Ultimately however, it was the Council's intention to secure all sales at the new site at Kildare and thus enjoy the financial benefit, as indicated in the Market Committee Minutes for October 1869.¹⁶³

Both George Synnot and Messrs Guthrie Bullock & Co. subsequently indicated their willingness to transact their business at the new Corporation Cattle Markets at Kildare provided that they were duly compensated. In 1870, both Synnot and Messrs Guthrie Bullock & Co. sought £100 as the purchase price for their private yards and the surrender of the leases of the yards.¹⁶⁴ This issue was referred to the Geelong Town Council's Legislative Committee which subsequently approved of the arrangement.¹⁶⁵ In September 1871, Messrs. Guthrie Bullock & Co. sought a further sum of £20 in addition to the previous agreement of £100.¹⁶⁶ In 1872, the Geelong Town Council agreed to this request.¹⁶⁷

4.3 Newmarket & Ballarat Sale Yards

As previously indicated in Section 2, the design of the Geelong Sale Yards was influenced by the layout, construction and utility of the Newmarket Yards in Kensington and the Sale Yards in Ballarat. These yards are therefore the most comparable as follows:

4.3.1 Former Newmarket Sale Yards & Abattoirs, Kensington¹⁶⁸

The former Newmarket Sale Yards and Abattoirs at Kensington are of State architectural, historical and social significance, being included on the Victorian Heritage Register as H1430.

In January 1859, the first sales were held at the newly-completed Newmarket sale yards. By 1888, almost half a million animals passed annually through the markets and in the 20th century it became the world's largest livestock auction

159 Geelong Town Council Market Committee Minutes, 3 September 1867, op.cit.

160 Geelong Town Council Market Committee Minutes, 16 October 1867, op.cit.

161 See Geelong Town Council Market Committee Minutes, 1867-1869, op.cit.

162 Geelong Town Council Market Committee Minutes, 1 & 17 September 1869, op.cit.

163 Geelong Town Council Market Committee Minutes, 25 October 1869, op.cit.

164 Geelong Town Council Market Committee Minutes, 4 & 20 July & 19 August 1869, op.cit.

165 Geelong Town Council Market Committee Minutes, 4 August 1871, op.cit.

166 Geelong Town Council Market Committee Minutes, 19 September 1871, op.cit.

167 Geelong Town Council Market Committee Minutes, 29 February 1872, op.cit.

168 'Former Newmarket Saleyards & Abattoirs', H1430, Victorian Heritage Register online, June 2007 & 'Newmarket Saleyards' in www.enet.org.au/historyonline/saleyards/newmarketsaleyards.htm, 12 June 2007.

market. The sale yards were situated on 10 hectares of land. An early brick administration building constructed in c.1874 survives on the sale yards site today (Figure 4.04). It is a square-planned building designed with a central courtyard in which is a clock tower built in c.1939.

On 26 March 1987, the Newmarket Sale Yards were officially closed and the site was transformed into a medium density residential estate known as the Kensington Banks. Most of the yards were therefore demolished, although a small area of cattle pens and some fencing survives (Figure 4.05). This building now forms part of the Kensington Community High School. The original stock-route has been interpreted through a walk.

Figure 4.06 shows the rectangular arrangement of the cattle pens, vernacular timber construction of the fencing and elevated covered walkways at the Newmarket Sale Yards in 1875. These design concepts were translated in a smaller way at the Geelong Sale Yards in 1869 and are still present in the configuration and construction of several cattle and sheep pens today. While the former Newmarket Sale Yards pre-date the Geelong Yards and were more substantial in sale and volume of sales, they have been greatly reduced and no longer serve their original purpose, unlike the Geelong Yards.

4.3.2 Ballarat Livestock Selling Centre¹⁶⁹ (Figures 4.07-11)

The Ballarat Sale Yards were established on 10.6 hectares of land first known as Cardigan Square, with frontages to Latrobe and Gillies Streets. Originally known as the Corporation Cattle Yards, no primary documentation has been ascertained which accurately defines the date the yards were first opened. However, the *Star* newspaper listed the Cattle Market Inn (later Cattle Yards Inn) in Alfredton, opposite the Corporation Cattle yards on 25 January 1864, which indicates that the Cattle Yards had been established prior to this date.

The Ballarat Livestock Selling Centre is one of the largest in Victoria. In recent years, 1.5 million sheep are sold each year at these yards, together with 60,000 cattle and 40,000 pigs. The Ballarat Selling Centre is therefore considerably larger and earlier than the Geelong Yards. The separation of the cattle and sheep yards by a roadway (Gillies Street) in Ballarat, together with the typical rectangular layout of the pens and narrow covered walkways, clearly reveals the design affinity of the Ballarat and Geelong yards.

Unlike the Geelong yards, the Ballarat yards have been substantially altered. It appears that all original timber fencing has been replaced with 20th century timber posts and rails and more particularly, steel fences and gates. However, there are a number of pens with early bluestone paving (a concrete finish is the other paving type).

The most notable surviving building – the Market Office – is likely to have been constructed during the Federation period. The intact, single storey building has a steeply-pitched hipped roof form crowned by a hipped rectangular lantern light. The roof is clad in galvanised corrugated steel with four face brick chimneys having projecting rendered concrete tops. Broad overhangs are features of the eaves. The building has face brick wall construction with horizontal rendered concrete banding and window and door heads. This

169 Anne Begg Sunter, Ballarat, 'Ballarat Cattleyards and Markets', manuscript, June 2007.

building appears to represent the most notable early 20th century fabric on the Ballarat Sale Yards site today.

There are two substantial mid-late 20th century covered yards having gable roof forms and projecting skillion dormers. These structures are constructed of brick and metal deck wall cladding. The Ballarat Selling Centre is also ear-marked for closure and relocation to a green field site.

4.4 Inventory of Sale Yards in Victoria

The following inventory has relied on the table prepared by R.J. Kaufman of LRGM – Services in the ‘Conservation Management Plan and Interpretation Plan for the Rotunda (Sales Ring), Bairnsdale Regional Saleyards’, prepared for the Eastern Gippsland Shire Council in 2003. Other rural sale yards have also been identified as part of this Report, particularly through responses from heritagechat (online heritage chat group).

Avoca Stock Yards, Avoca, built from 1926.

Pyrenees Shire, HO202, municipal yards.

Initially built from bush timber, the Avoca Stock Yards have significance for their associations and characteristic qualities. The stockyards and their unusually close proximity to the main street, clearly illustrate the importance of farming in the local economy. Their construction of bush timber, is typical of a period before iron or aluminium was widely used in fencing structures.

Source: W. Jacobs & K. Twigg, 'The Pyrenees Shire Avoca Shire Heritage Study 1864-1994', prepared for the Pyrenees Shire, 1995, vol.3.

Bairnsdale Regional Sale Yards & Rotunda, built 1941. East Gippsland Shire, HO39, municipal yards. The Bairnsdale Sales Rotunda is of State cultural heritage significance because of its historical associations with the pastoral and horse-breeding industries, typological rarity as a pre-1950s livestock selling ring (and saleyards building), and the aesthetic qualities of its unusual construction.

Source: R.J. Kaufman, LRGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Photo source: Opening Day, Bairnsdale Sale Yards, 1941, La Trobe Picture Collection, State Library of Victoria, image no. b.51134.



Ballarat Livestock Selling Centre, Ballarat, established early 1860s, upgraded in the 20th century. City of Ballarat, no heritage status, municipal yards.

Consists of rectangular cattle and sheep yards, possibly some very few early pens surviving. Is the largest sheep market and possibly the earliest continuously-functioning sheep market in Victoria.

Source: Anne Begg Sunter, Ballarat, 'Ballarat Cattleyards and Markets', manuscript, provided



June 2007. Photo: Wendy Jacobs, 2007.

Benambra Sale Yards, possibly established during the interwar period. East Gippsland Shire, no heritage status, private yards.

Source: Linda Barraclough, Gippsland Heritage Journal, June 2007.

Photo source: Benambra Sale Yards, 1947, La Trobe Picture collection, State Library of Victoria, image no. b51063.



Bendigo Sale Yards, built 1997 on new site. City of Greater Bendigo, no heritage status, municipal yards.

Early Sale Yards and Abattoirs site redeveloped.

Source: R.J. Kaufman, LRGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Photo source: Original Bendigo Sale Yards, 1924, La Trobe Picture collection, State Library of Victoria, image no. b14818.



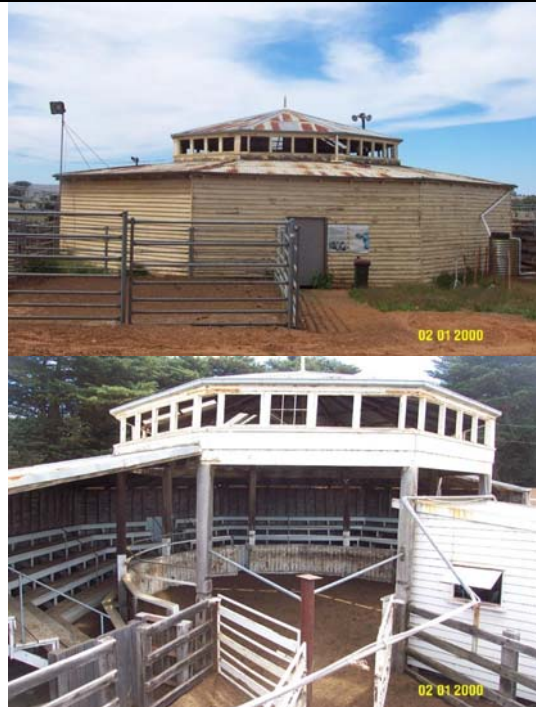
Camperdown Regional Livestock Selling Centre, built in more recent times. Corangamite Shire, no heritage status, municipal yards.

Source: Huefner & Associates Pty Ltd, Camperdown Regional Livestock Selling Centre - Business Plan, December 2006.

Casterton Sale Yards & Stock Selling Ring Building, built 1925. Glenelg Shire, proposed heritage status, municipal yards.

The centerpiece of the Casterton Sale Yards is the octagonal plan selling ring having tiered timber benches on five sides. The upright timbers that support of the roof of the sale ring building are square red gum posts with stringybark rafters and battens. The posts of the outside yards are also red gum and the rails are stringybark or other local hardwood timbers.

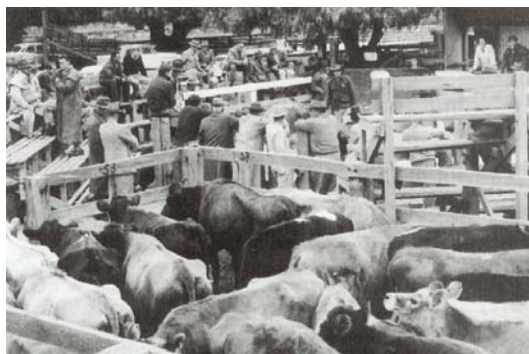
Source (including photos): T. Hubbard, Heritage Matters Pty Ltd, 'Glenelg Shire Heritage Study', Stage 2, 2006.



Cobram Sale Yards, established 1939. Moira Shire, no heritage status, municipal yards.

Cobram Sale Yards were remodeled between 1960-69.

Source (including photo): K. Rogers, *The Story of Cobram: A Social History*, Cobram Historical Society, Cobram, 2002, 155-266.



Colac Livestock, built in 1977. Colac Otway Shire, no heritage status, municipal yards.

The cattle yards have been extensively extended since 1977.

Source: Huefner & Associates Pty Ltd, Geelong Sale Yards – Risk Analysis, prepared for the City of Greater Geelong, March 2004, pp.1-2.

Corryong Sale Yards, building date not known. Towong Shire, no heritage status. Apparently municipal yards in 1985.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Dalgety Sale Yards, Duverney Street, Cressy, built 1906. Colac Otway Shire, private yards.

Dalgety & Co. opened a sub-branch at Cressy in 1906, in conjunction with the sale yards. Fortnightly sales were conducted for fat and store sheep and cattle by 1912. In 1957, the yards saw the largest sale of sheep in Cressy, when 30,000 sheep passed through. The original yards have been replaced by modern construction materials.

Source: M. Sheehan, Colac Otway Heritage Study, prepared for the Colac Otway Shire.

Dingee Sale Yards, Dingee, building date not known. Loddon Shire, no heritage status, possibly private yards.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Echuca Sale Yards, built in 20th century. Campaspe Shire, no heritage status. The yards were to be relocated in 2004.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Photo source: Echuca Sale Yards, 1949, La Trobe Picture collection, State Library of Victoria, image no. a 27813.



Ensay Sale Yards, building date not known.

East Gippsland Shire, no heritage status.

Helen Martin, Shearwater Associates Pty Ltd,
June 2007.

Gelantipy Sale Yards, Gelantipy, building date

not known. East Gippsland Shire, no heritage status, private yards.

Source: R.J. Kaufman, LRGM Services,
'Conservation Management Plan, Bairnsdale
Regional Saleyards', 2003.

Goldsbrough Mort-Elder Smith Sale Yards & Sale Rooms, Moyhu, built c.1940s. Wangaratta Rural City, no heritage status (proposed), municipal yards.

Consists of a large block of steel sale yards, with a substantial loading ramp at the south end. The yards are built with welded wire mesh posts of reclaimed double-headed railway line (dated 1886). The yard is set about with many mature Locust trees for shade in the summer. The gable roofed sale room shed at the south end of the yards contains a bull ring having a semi-circular fence with tiered bench seating behind it around the walls at one end.



The yards, covered sale ring, water tank & loo are thought to be the only stock yards surviving in the Rural City of Wangaratta.

Source (including photo): C. & M.J. Doring Pty Ltd,
'Rural City of Wangaratta Heritage Study',
Inventory, May 2004, study item no. 095.

Hamilton Sale Yards, building date not known.

Southern Grampians Shire, municipal yards.

Resources Inventory, Public Land Assets - Historic Places, DSE, June 2007.

Henty Sale Yards, Casterton, built 19th century

[?]. Glenelg Shire, private yards.

Source: Mandy Jean, June 2007.

Heyfield Sale Yards, Heyfield, building date not

known. Wellington Shire, private yards.

Source: R.J. Kaufman, LRGM Services,
'Conservation Management Plan, Bairnsdale
Regional Saleyards', 2003.

Heywood Sale Yards, Heywood, building date

not known. Glenelg Shire, no heritage status, privately operated.

Source: R.J. Kaufman, LRGM Services,
'Conservation Management Plan, Bairnsdale
Regional Saleyards', 2003.

Horsham/Wimmera Stock Bazaar, Horsham, built 1936. Horsham Shire, VHR H1985.

The Stock Bazaar building is of architectural significance as a rare and late example of the building type of the stock or horse bazaar. It also has significance for its unusual Moderne facade design, which incorporates abstracted Egyptian style pylons on either side of the main entrance. The building historical significance as the only standing fabric remaining from the livestock saleyards which were a vital aspect of the physical and economic development of Horsham as a centre servicing the agricultural and pastoral region of the Wimmera. Sale yards removed in the 1990s and relocated to new site in 1999.



Source (including photo): Victorian Heritage Register online, H1985, June 2007.

Kilmore Sale Yards, Derrimut, built c.1959. Mitchell Shire, no heritage status, private yards.

Earlier yards relocated in 1933 and again to Derrimut in the 1950s.

Resources Inventory, Public Land Assets - Historic Places, DSE, June 2007.

Koonawarra Sale Yards, Koonawarra, building 1980-81. South Gippsland Shire.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Kyneton Sale Yards, built 1986. Macedon Ranges Shire, no heritage status, municipal yards.

Covered timber pens with a computerized selling ring.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Mildura Sale Yards, building date not known. Mildura Rural City, no heritage status, municipal yards.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Morang Sale Yards, Mernda, built c.1880s. Whittlesea Shire, HO66.

Source: Meredith Gould Architects, 'Whittlesea Heritage Study 1991 Part 2', prepared for the City of Whittlesea.

Mortlake Sale Yards, building date not known. Moyne Shire, no heritage status, municipal yards.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Murrayville Sale Yards, Murrayville, building date not known. Mildura Rural City, no heritage status, municipal yards.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Myrtleford Sale Yards, Myrtleford, built c.1970s. Alpine Shire, no heritage status.

Private yards upgraded approximately 30 years ago. The c.1970s sales ring survives, although the tiered seating may be older, with new building and ring.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Newmarket Sale Yards & Abattoirs (former), Kensington, built 1859. Moonee Valley City, HO262, VHR H1430.

See details in Section 4.3.1. Sale Yards closed in 1987 and have been largely removed and converted to medium density residential area.

Numurkah Sale Yards, Numurkah, building date not known. Moira Shire, no heritage status, municipal yards.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Omeo Sale Yards, building date not known. East Gippsland Shire, no heritage status, private yards.

Open pens only.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Orbost Sale Yards, building date not known. East Gippsland Shire, no heritage status, private yards.

Small timber and metal pens with an under-cover, open-sided selling pavilion having auctioneer's stand but no seating.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Ouyen Sale Yards, building date not known. Mildura Rural City, no heritage status, municipal yards.

Source: R.J. Kaufman, LRG M Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Pakenham Sale Yards, built in 1999, Cardinia Shire, no heritage status.

Source: R.J. Kaufman, LRGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Rochester Sales Ring, built 1911. Campaspe Shire, HO216, municipal yards.

The sale yards were refurbished in 1954. They consist of rough, wooden, under-cover pens and a separate covered sales ring.

Source: R.J. Kaufman, LRGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Shepparton Regional Sale Yards, built in 20th century with covered cattle pens, Shepparton Greater City, no heritage status.

Source (including photo): David Rowe, 2007.



South Gippsland Regional Sale Yards, Korumburra, construction date not known. South Gippsland Shire, no heritage status.

Apparently the largest bullock market in Victoria. Leased from Shire to a private company.

Source: R.J. Kaufman, LRGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Swan Hill Municipal Sale Yards, built 1995. Swan Hill Shire.

Source: R.J. Kaufman, LRGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Swifts Creek Sale Yards, Swifts Creek, building date not known. East Gippsland Shire.

Source: Helen Martin, Shearwater Associates Pty Ltd, June 2007. Linda Barraclough, East Gippsland Journal, June 2007.

Thorpdale Sale Yards, Thorpdate, built c.1930-40s [?]. Baw Baw Shire, no heritage status, private yards.

Source (including photos): Anne Napier Architect Pty Ltd, June 2007.



Trafalgar Sale Yards, Trafalgar, building date note known, Baw Baw Shire, no heritage status, municipal.

Source: R.J. Kaufman, LRGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Traralgon Sale Yards, built in 20th century, Latrobe City, private yards.

Source: R.J. Kaufman, LRGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Wangaratta Bull Sale Ring (former), built c.1938. Wangaratta Rural City, no heritage status (proposed).

New pig sale yards were established at Batchelor's Green in 1928. The early Market and stock yards (established in 1864) were relocated to this site in 1934. The Bull Sale Ring building was constructed in c.1938 at the Batchelor's Green site. The Sale Yard operations were again relocated in the 1970s and in c.1980 the Bull Sale Ring was converted into an art studio for the Artists' Society.



Source (including photo): C. & M.J. Doring Pty Ltd, 'Rural City of Wangaratta Heritage Study', Inventory, May 2004, study item no. 517.

Warrnambool Livestock Exchange, built 1970. Warrnambool City, municipal yards.

These are the largest yards in the south-west Victoria and were redesigned in the late 1990s.

Source: R.J. Kaufman, LRGM Services,

'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Warragul Sale Yards, built c.1940s, Baw Baw Shire, no heritage status, municipal yards.

Source (including photos): Anne Napier Architect, June 2007.



Wellington Livestock Exchange, built in later 20th century. Wellington Shire, no heritage status municipal yards.

Includes an enclosed undercover selling ring.

Source: R.J. Kaufman, LRGGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Wodonga Livestock Exchange, built in the late 20th century, Wodonga Rural City, no heritage status, municipal yards.

Claimed to be Australia's largest cattle sale yards.

Source: R.J. Kaufman, LRGGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003. See also K. Skeen, *Wodonga Saleyards: The Story 1935-1980*.

Wycheproof Sale Yards, building date not known, Buloke Shire, no heritage status, municipal yards.

Source: R.J. Kaufman, LRGGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Yarram Sale Yards, Yarram, building date not known. Wellington Shire, private yards.

Source: R.J. Kaufman, LRGGM Services, 'Conservation Management Plan, Bairnsdale Regional Saleyards', 2003.

Yarrawonga Sale Yards, building date not known. Moira Shire, no heritage status, municipal yards.

Source: R.J. Kaufman, LRGM Services,
'Conservation Management Plan, Bairnsdale
Regional Saleyards', 2003.

Yea Sale Yards, building date not known.
Murrundindi Shire, no heritage status, possibly
private yards.

Source: R.J. Kaufman, LRGM Services,
'Conservation Management Plan, Bairnsdale
Regional Saleyards', 2003.

4.5 Assessment of Significance

An assessment of the historical overview and physical and comparative analyses sections in this report reveal the significance of the Geelong Sale Yards. It is significant for the following reasons:

- As the most intact functioning 19th century corporation Sale Yards known in Victoria. While the Newmarket and Ballarat Sale Yards are earlier, the Newmarket yards have been altered into a residential development (within only a small portion of sale yards fabric surviving). The Ballarat yards continue to function as sale yards, but very little 19th century fabric survives (the Market Office building is highly intact and well-designed and dates from the Federation era). Established by the Town of Geelong in 1869, the Geelong Sale Yards were laid out and designed by the Town Surveyor, Robert Balding. The layout and vernacular construction of the timber pen fencing, gates and covered elongated walkways was inspired by the yards at Newmarket and Ballarat. The historical significance of the Geelong Sale Yards is embodied in the fabric: rectangular layout of cattle and sheep yards divided by a central thoroughfare (see Figure 4.01); timber post and rail cattle and sheep pen fencing and gates; elevated and elongated covered cattle yard walkways; bluestone pen paving; stands of mature Ash trees shading the western sheep pens; Market Office building; former Caretaker's Cottage building; and the bluestone spoon drains. The Market Office building represents the second structure of its type on the site, having replaced the earlier structure as a "temporary" building in 1913. It appears to have been designed by the City Surveyor, H.L. Tisdall and have served the Sale Yards as stock and station agent offices, refreshment rooms, kitchen and lunch room to the present day. The building does not express the level of design and substantial construction as the Federation-styled Ballarat Market Office building, probably because of its temporary nature. The former Latrine's Shed, built in c.1913, also represents significance fabric as it provides a further understanding of the evolution and development of the Sale Yards in the early 20th century.
- For its long-standing association with the Corporation of Geelong (now the City of Greater Geelong). The Sale Yards were established in 1869 for the Town of Geelong and while the site was leased to private operators in the 19th and 20th centuries, it has continued to be owned by Council until the present day.
- For its associations with several 19th and 20th century stock and station agents who were crucial to the successful operation of the Sale yards for

stock owners and butchers and more generally the Geelong community's food chain. Early and influential agents who have had long-standing associations with the Geelong Sale Yards include: John Toyne (Toyne Brothers and Walsh) whose 40-year association with the yards included approximately 18 years as lessee; H.F. Richardson agents, whose associations began with H.F. Richardson when a Member of Parliament through assistance in securing the land for the yards and through successive generations of the Richardson family whose business has been transacted at the Geelong yards to the present day. Other early influential agents have included George Synnot Junior and Messrs Guthrie Bullock and Co.

- For its importance to the Geelong (and wider) community as a centre for business and social interaction between framers, stock agents and other associated with the livestock industry for almost 140 years. The weekly Monday sales at the Geelong yards continue a long tradition of providing an important secondary benefit to the users of the yards. The Refreshment Room and Bar in the Market Offices buildings has been the location for informal counseling, education, business and most of all friendship. The social value of the Geelong yards is still highly important to this day.
- For its continuously functioning Edwardian Market Office interiors. Built in 1913, the five surviving stock and station agents' offices are highly intact and early fabric includes the coved v-jointed timber lined ceilings, v-jointed timber lined walls, exposed timber floor boards, v-jointed timber doors with early metal knobs and plates, built-in timber sales benches, wall-mounted timber shelving (for paperwork), timber in-trays on the benches, timber bench seats, and timber writing desks. Of less integrity but no less significance is the Refreshment Room and Kitchen at the southern end of the building, which include identical coved timber ceilings and v-jointed timber ceiling and wall lining boards as the agents' offices.
- For its potential archaeological value of any surviving brick, stone and concrete-lined dams, bye-washes and barrel drains in the vicinity of Fisherman's Gully (near the southern boundary of the site), and any fabric associated with the early sheep dip to the east of the sheep yards and ramps.

4.6 Statement of Cultural Significance

The following Statement of Cultural Significance has been developed according to the Criteria for Assessment of Cultural Heritage Significance adopted by the Heritage Council of Victoria (see Appendix 8.07).

What is Significant?

The Geelong Sale Yards, Weddell Road, North Geelong has significance as the most intact functioning 19th century municipal stock yards known in Victoria. The second municipal Sale Yards to be built in Geelong, these Sale Yards were established in 1869 by the Town of Geelong to a layout and design by the Town Surveyor, Robert Balding. The need for larger and up-to-date stock yards reflects the importance of the local agricultural industry to the Geelong economy in the 19th century. The rectangular layout of the cattle and sheep yards, construction of the vernacular timber post and rail pen fences and gates, and the concept of elevated narrow covered walkways, was influenced by the layout and design of the Newmarket yards in Kensington and the Ballarat yards. Surviving early fabric of the Geelong Sale Yards includes the layout of cattle and sheep yards divided by a central thoroughfare, timber post and rail cattle and sheep pen fencing and gates, elevated and narrow covered cattle yard walkways, bluestone pen paving, stands of mature Ash trees shading the western sheep pens, former Caretaker's Cottage and the bluestone spoon drains. The Market Office building represents the second structure of its type on the site, having replaced the earlier structure as a "temporary" building in 1913. The vernacular Edwardian building appears to have been designed by the City Surveyor, H.L. Tisdall and has served the Sale Yards as stock and station agent offices, refreshment rooms, kitchen and lunch room to the present day. The interior of the building is substantially intact, including v-jointed timber ceiling and wall linings. In the stock and station agents' offices are original built-in timber sale benches with in-trays, wall-mounted timber shelving (for paperwork), timber bench seats and the timber writing desks. Also contributing to an appreciation of the early 20th century evolution and development of the yards is the former Latrine's Shed, built in c.1913.

How is it Significant?

The Geelong Sale Yards are historically, scientifically and socially significant to the State of Victoria.

The interiors of the Market Office building at the Geelong Sale Yards are architecturally significant at a LOCAL level.

Why is it Significant?

The Geelong Sale Yards are historically and scientifically significant at a STATE level (Criteria A, B, C & F). Established in 1869 as Geelong's second corporation stock yards, the surviving yards at North Geelong now represent the most intact functioning known 19th century sale yards in Victoria. The need for larger yards reflects the importance of the local agricultural industry to the Geelong economy at that time. The once ubiquitous rectangular layout of the cattle and sheep yards – separated by a central thoroughfare – together with the timber construction of the pen fencing and gates, bluestone pen paving and the narrow covered elevated cattle yard walkways, are a physical legacy of 19th century vernacular sale yard design and function now rare in Victoria. The layout and design of the Geelong Sale Yards were largely based on the

Newmarket Sale Yards in Flemington and the Ballarat Sale Yards. The Newmarket yards closed in 1987 and were transformed into a medium density residential estate, with only a small area of cattle pens, fencing and a 19th century brick Administration building surviving. The Ballarat yards represent the earliest known functioning 19th century stock yards in Victoria, but apparently little original fabric survives. The interiors of the Market Offices building at the Geelong Sale Yards also contribute to its high level of historical significance.

The Geelong Sale Yards are also historically significant for its long-standing associations with the Corporation of Geelong (now the City of Greater Geelong). Since 1869, the sale yards have continued to function as municipal yards. There are also historical associations with long-serving and influential stock and station agents who have been critical to the successful operation of the Sale Yards in the 19th and 20th centuries. These agents include: John Toyne (Toyne Brothers and Walsh) whose 40-year association with the yards included approximately 18 years as lessee; and H.F. Richardson agents, whose associations began with H.F. Richardson when a Member of Parliament assisted in securing the land for the yards and through successive generations of the Richardson family whose business has been transacted at the Geelong yards to the present day. Other early influential agents have included George Synnot Junior and Messrs Guthrie Bullock and Co.

The Geelong Sale Yards are socially significant at a STATE level (Criterion G). For almost 140 years, the Geelong Sale Yards has been a centre for business and social interaction between farmers, stock agents and others associated with the livestock industry. The weekly Monday sales at the Geelong yards continue a long tradition of providing an important secondary benefit to the users of the yards. The Refreshment Room and Bar in the Market Offices buildings have been the location for informal counseling, education, business and most of all much-needed friendship. This social value is has been especially important for farmers, who rely on the operation of the Sale Yards given their otherwise isolated lifestyles. The social value of the Geelong yards is still significant to this day.

The interiors of the Market Offices building at the Geelong Sale Yards are architecturally significant at a LOCAL level (Criterion D). They demonstrate original design qualities of the Edwardian period and provide a tangible appreciation of the early and continuing function of the building. Built in 1913, the five surviving stock and station agents' offices are highly intact and early fabric includes the stained coved v-jointed timber lined ceilings, stained v-jointed timber lined walls, exposed timber floor boards, stained v-jointed timber doors with early metal knobs and plates, built-in stained timber sales benches, wall-mounted stained timber shelving (for paperwork), stained timber in-trays on the benches, timber bench seats, and timber writing desks. Of less integrity but no less significance is the Refreshment Room and Kitchen at the southern end of the building, which include identical coved timber ceilings and v-jointed timber ceiling and wall lining boards as the agents' offices.

The Geelong Sale Yards also have the potential to educate and illustrate the function and operation of the yards in the 19th century through any surviving archaeological fabric. This fabric includes any surviving brick, stone and concrete-lined dams, bye-washes and barrel drains in the vicinity of Fishermans

Gully (near the southern boundary of the site), and any fabric associated with the early sheep dip to the east of the sheep yards and ramps.

4.7 Significance of Components

4.7.1 Significance Status of Existing Fabric

The fabric considered to be of **PRIMARY significance** to the Geelong Sale Yards is as follows:

- Cattle Yards (especially the rectangular layout, timber post and rail pen fences and gates, bluestone paving, and elevated narrow, covered walkways – the extent of which is shown in Drawing 1.04).
- Sheep Yards (especially the rectangular layout, timber post and rail pen fences and bluestone paving, and the mature stands of Ash trees near the western boundary – the extent of which is shown in Drawing 1.04).
- Central thoroughfare dividing the cattle and sheep yards and providing uninterrupted views to the Market Office building at the western end of the site.
- Bluestone spoon drains (especially the bluestone drain that traverses the sheep yards in the southern portion of the site).
- Timber cattle ramp at the eastern boundary of the cattle yards.
- Market Office building.
- Former Latrines Shed.
- Former Caretaker's Cottage.

The fabric considered to be of **SECONDARY significance** to the Geelong Sale Yards is as follows:

- Open shed in the sheep yards.
- Interwar Toilet Block.
- Altered and 20th century cattle & sheep ramps.
- Possible archaeological fabric forming brick, stone and/or concrete-lined dams, bye-washes and sheep washes in the vicinity of Fishermans Gully and at the eastern portion of the sheep yards.

The fabric considered to be of **NO significance** to the Geelong Sale Yards is as follows:¹⁷⁰

- Covered pig market building & associated offices.

170 The lack of heritage significance for these structures does not imply that they are not useful and valued by the owners and users of the site.

- Northern portion of cattle yards (see Drawing 1.04).
- Very small portion of sheep pens in the north-west corner of the sheep yards (see Drawing 1.04).
- Southern sheep yard area (see Drawing 1.04).
- Open grassed northern area of the sale yards site.
- Sheds adjacent to the former Latrines Shed.

4.7.2 Rationale

Significance Criteria A, B, C & F

The Geelong Sale Yards are considered to be historically and scientifically significant at a STATE level as the most intact functioning 19th century corporation sale yards known in Victoria. This has been established in the historical and physical evidence and comparative analysis sections of this Report. The historical significance the Geelong Sale Yards is embodied in the existing physical fabric, as outlined in Section 4.7.1. Without the early fabric, the historical value and appreciation of the 19th and 20th century function would be lost. While a very small portion of the former Newmarket Sale Yards in Kensington survive, this is no longer a functioning stock yard, with the majority of the site transformed into a residential estate. The Ballarat Sale Yards also pre-date the Geelong yards, but most of the original fabric at the Ballarat site has been replaced. The Geelong Sale Yards are therefore rare as a result of the more intact fabric and continuing sale yards function. The yards have the potential to provide an appreciation of 19th century stock yard layout, design and function rarely found elsewhere in Victoria.

Significance Criterion G

The Geelong Sale Yards are a centre of social interaction, counseling, education and business activity valued by a wide section of the Geelong and district community. The social interaction and value of the sale yards today continues a long-running tradition stretching back to 1869. The importance of the social and cultural values of the Geelong Sale Yards has been clearly identified in the SWOT (Strengths, Weaknesses, Opportunities & Threats) Analysis provided as Appendix 8.08.

PART TWO: THE MANAGEMENT PLAN

SECTION 5

5.0 Conservation Policy

SECTION 5

5.0 Conservation Policy

5.1 Introduction

The following Conservation Policy has been developed in accordance with the Australia ICOMOS Burra Charter (Appendix 8.06).

The following provides specific policies (and rationale) for the significant fabric of the Geelong Sale Yards. They have been supported by Recommendations and Works and Maintenance Items that form Section 6 of this Report. The policies should be read in conjunction with the Drawings provided as Appendix 8.01.

The following policies have been prepared as guide only and are not the formal policy of the City of Greater Geelong. They represent the broad recommendations that have emanated from the conservation analysis in this Report.

5.2 General Policy

The retention and restoration of the Geelong Sale Yards should be the uppermost priority. New developments should also ensure that the existing original use is retained.

It is policy that the conservation, maintenance and future management of the significant fabric of the Geelong Sale Yards be carried out in accordance with the Australia ICOMOS Burra Charter (Appendix 8.06). The definitions of the Burra Charter are as follows:

Conservation means all the processes of looking after a place so as to retain its cultural significance. It includes maintenance and may according to circumstances include preservation, restoration, reconstruction and adaptation and will be commonly a combination of more than one of these.

Maintenance means the continuous protective care of the fabric, contents and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction and should be treated accordingly.

Preservation means maintaining the fabric of a place in its existing state and retarding deterioration.

Restoration means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning a place as a nearly as possible to a known earlier state and is distinguished by the introduction of materials (old or new) into the fabric. This is not to be confused with either re-creation or conjectural reconstruction, which are outside the scope of this Charter.

Adaptation means modifying a place to suit proposed compatible uses.

Rationale

The Statement of Cultural Significance clearly indicates that the Geelong Sale Yards are historically, scientifically and socially significant at a STATE level, with the interior of the Market Office building being architecturally significant at a LOCAL level. To reiterate, the Geelong Sale Yards are significant for the following reasons:

- As the most intact functioning 19th century corporation Sale Yards known in Victoria. While the Newmarket and Ballarat Sale Yards are earlier, the Newmarket yards have been altered into a residential development (with only a small portion of sale yards fabric surviving, and which no longer functions for its original purpose). The Ballarat yards continue to function as sale yards, but very little 19th century fabric survives (the Market Office building is highly intact from the Federation era). Established by the Town of Geelong in 1869, the Geelong Sale Yards were laid out and designed by the Town Surveyor, Robert Balding. The layout and vernacular construction of the timber pen fencing, gates and covered elongated walkways was inspired by the yards at Newmarket and Ballarat. The historical, scientific and social significance of the Geelong Sale Yards is embodied in the fabric: rectangular layout of cattle and sheep yards divided by a central thoroughfare (see Figure 4.01); timber post and rail cattle and sheep pen fencing and gates; elevated and elongated covered cattle yard walkways; bluestone pen paving; stands of mature Ash trees shading the western sheep pens; Market Office building; former Caretaker's Cottage building; and the bluestone spoon drains. The Market Office building represents the second structure of its type on the site, having replaced the earlier structure as a "temporary" building in 1913. It was designed by the City Surveyor, H.L. Tisdall and has served the Sale Yards as stock and station agent offices (sales offices), refreshment rooms, kitchen and lunch room to the present day. The building does not express the level of design and substantial construction as the Federation-styled Ballarat Market Office building, probably because of its temporary nature. The former Latrine's Shed, built in c.1913, also represents significant fabric as it provides a further understanding of the evolution and development of the Sale Yards in the early 20th century.
- For its long-standing association with the Corporation of Geelong (now the City of Greater Geelong). The Sale Yards were established in 1869 for the Town of Geelong and while the site was leased to private operators in the 19th and 20th centuries, it has continued to be owned by Council until the present day for livestock sale purposes.
- For its associations with several 19th and 20th century stock and station agents who were crucial to the successful operation of the Sale yards for stock owners and butchers and more generally the Geelong community's food chain. Early and influential agents who have had long-standing associations with the Geelong Sale Yards include: John Toyne (Toyne Brothers and Walsh) whose 40-year association with the yards included approximately 18 years as lessee; H.F. Richardson agents, whose associations began with H.F. Richardson when a Member of Parliament through assistance in securing the land for the yards and through successive generations of the Richardson family

whose business has been transacted at the Geelong yards to the present day. Other early influential agents have included George Synnot Junior and Messrs Guthrie Bullock and Co.

- For its importance to the Geelong (and wider) community as a centre for business and social interaction between framers, stock agents and others associated with the livestock industry for almost 140 years. The weekly Monday sales at the Geelong yards continue a long tradition of providing an important secondary benefit to the users of the yards. The Refreshment Room and Bar in the Market Offices buildings have been the location for informal counseling, education, business and most of all friendship. The social value of the Geelong yards is still highly important to this day.
- For its continuously functioning Edwardian Market Office interiors. Built in 1913, the five surviving stock and station agents' offices are highly intact and early fabric includes the coved v-jointed timber lined ceilings, v-jointed timber lined walls, exposed timber floor boards, v-jointed timber doors with early metal knobs and plates, built-in timber sales benches, wall-mounted timber shelving (for paperwork), timber in-trays on the benches, timber bench seats, and timber writing desks. Of less integrity but no less significant is the Refreshment Room and Kitchen at the southern end of the building, which include identical coved timber ceilings and v-jointed timber ceiling and wall lining boards as the agents' offices.
- For its potential archaeological value of any surviving brick, stone and concrete-lined dams, bye-washes and barrel drains in the vicinity of Fisherman's Gully (near the southern boundary of the site), and any fabric associated with the early sheep dip to the east of the sheep yards and ramps.

5.3 Buildings & Fabric (Drawings 1.01-1.04, Appendix 8.01)

5.3.1 Buildings & Structures of Primary Significance

Policy 1: Exterior Fabric

It is policy that the exterior fabric of the buildings and structures identified as having primary heritage significance is retained. This fabric is:

- Cattle Yards (including the rectangular layout, timber post and rail pen fences and gates, bluestone paving, and elevated narrow, covered walkways. The extent of fabric of primary significance is shown in Drawing 1.04).
- Sheep Yards (especially the rectangular layout, timber post and rail pen fences and bluestone paving, and the mature stands of Ash trees near the western boundary. The extent of primary significance is shown in Drawing 1.04).
- Central thoroughfare dividing the cattle and sheep yards and providing uninterrupted views to the Market Office building at the western end of the site.

- Bluestone spoon drains (especially the bluestone drain that traverses the sheep yards in the southern portion of the site).
- Timber cattle ramp at the eastern boundary of the cattle yards.
- Market Office building.
- Former Latrines Shed.
- Former Caretaker's Cottage.

Policy 2: Interior Fabric

It is policy that the interiors of the Market Office building is retained and/or reconstructed.

5.3.2 Buildings & Structures of Secondary Significance

It is policy that consideration is given to the retention of buildings and structures of secondary heritage significance. This fabric is:

- Open shed in the sheep yards.
- Interwar Toilet Block (central thoroughfare).
- Altered and 20th century cattle & sheep ramps.
- Possible archaeological fabric forming brick, stone and/or concrete-lined dams, bye-washes and sheep washes in the vicinity of the Fishermans Gully and at the eastern portion of the sheep yards.

5.3.3 Buildings & Structures of No Significance

While the following buildings and structures relate to the later historical development of the Geelong Sale Yards site, they are not considered to have sufficient heritage value to warrant heritage status:

- Covered pig market building & associated offices.
- Northern portion of the cattle yards (see Drawing 1.04).
- Very small portion of sheep pens in the north-west corner of the sheep yards (see Drawing 1.04).
- Southern sheep yard area (see Drawing 1.04).
- Open grassed northern area of the sale yards site.
- Sheds adjacent to the former Latrines Shed.

5.4 Landscaping

It is policy that the stands of mature Ash trees in the sheep yards in the south-west corner of the site are retained.

Rationale

These trees contribute to the character and appearance of this part of the site and also express part of the sale yards function through the provision of a shaded sheep yards area.

5.5 Use**Policy**

It is policy that the Geelong Sale Yards continue to be utilized as a site for the sale of livestock (particularly cattle and sheep) to support the high level of historical significance of the place. Ideally, the site should be retained in Council ownership to support its heritage significance as one of the oldest continuously functioning municipal sale yards in Victoria.

Rationale

It has been found in the Statement of Significance that the Geelong Sale Yards, while not the earliest in Victoria, are the most intact functioning 19th century Sale Yards in the State. The loss of the existing, original, long-standing sale yards use of the site would greatly diminish the cultural heritage significance of the place. The significance of the Sale Yards relies on the retention of the existing use.

5.6 Statutory Constraints**Building Code of Australia, OH&S Requirements, Animal Welfare Requirement****Policy**

It is policy that all buildings and works at the Geelong Sale yards are carried out in accordance with the appropriate Building Regulations.

It is policy that the use of the site conforms to the relevant Occupational, Health and Safety (OH&S) requirements, Trade Waste Agreement and Code of Practice for the Welfare of Animals at Saleyards, and other safety and regulatory requirements.

Heritage Controls**Heritage Victoria: Victorian Heritage Register****Policy**

It is policy that consideration is given to the nomination of the Geelong Sale Yards for inclusion on the Victorian Heritage Register, given its high level of historical, scientific and social heritage value. The extent of designation for the Register should be from an east-west line immediately north of the Pig Market boundary to Fishermans Gully.

Greater Geelong Planning Scheme: Heritage Overlay**Policy**

It is policy that an amendment to the Greater Geelong Planning Scheme be prepared for the inclusion of the Geelong Sale Yards as a Heritage Overlay in the Schedule to the Heritage Overlay in the Greater Geelong Planning Scheme. The extent of Heritage Overlay should be from an east-west line immediately north of the Pig Market boundary to Fishermans Gully. Consideration should also be given to the application of internal alteration controls specifically for the highly intact Stock and Station Agents' offices.

5.7 Environmental Risk

The following environmental risk analysis provides details on the most likely threats on the significant fabric of the Geelong Sale Yards, as a consequence of natural and human influences.

Threat	Likelihood of Threat	Recommendations to Mitigate Against Threat
Fire	Low	The likelihood of fire is currently low given that the sale yards and Market Office building are supervised on a daily basis and that there are no operational fireplaces in the Market Office building, former Latrines Shed and former Caretaker's Cottage. To ensure an adequate level of fire prevention, consideration should be given to the establishment of an Emergency Action Plan after the completion of a Fire Safety Audit. This audit may include adequate provision of fire extinguishers and smoke alarms, accounting for all relevant Building Code and Fire Safety precautions.
Storm	High	Given the poor condition of the fabric of the buildings of primary significance, there is a high probability that the buildings may suffer damage in the event of a severe storm. To reduce the potential for storm damage, the buildings and shelters require urgent repair and restoration (see Section 6).
Flood	Low	Maintain drains and ensure sufficient run off around buildings.
Structural Stability	Very High	The timber fencing of the cattle and sheep yards and the narrow covered walkways show signs of substantial weathering and rotting, which has undermined the structural stability of some of this fabric. Urgent repairs and restoration are required (see Section 6). The buildings of primary significance, particularly the Market Office building, are in poor structural condition. This has been confirmed by an Engineering Report by C.W. Fallaw & Associates Pty Ltd, Consulting Structural and Civil Engineers (see Appendix 8.09). Urgent repairs, restoration and reconstruction are required to reduce the very high structural risk.
Water Ingress & Damp	High	The poor condition of the Market Office building, including the rusted roof cladding and gutters, blocked gutters and overhanging tree on the west elevation, have created a likely opportunity for water ingress and dampness. The adjacent tree needs to be removed or urgently pruned and the Market Office building and other buildings of primary significance repaired and restored as a high priority.
Vandalism, Theft & Civil Disturbance	Moderate-High	A lack of lighting and security system at the Geelong Sale Yards poses a risk for vandalism and theft. As part of any restoration works and new development of the site, consideration should be given to a Security Audit with up-to-date security systems installed.
Vehicle Impact	Low	Opportunities for damage to significant fabric are low given the locations of vehicle ingress.

Occupational Health & Safety	High	Numerous previous Risk Analyses, Audits, Briefing Notes Feasibility Studies and Livestock Dynamics Reports have been prepared with regard to the Occupational Health and Safety (OH & S) issues for the Geelong Sale Yards. Most of these reports conclude that the inherent OH & S implications will remain with the retention of the existing fabric and operational arrangements. This poses a difficult issue given that the existing fabric contributes to the heritage significance of the place. Careful, balanced management procedures are required to ensure the retention of heritage significance while meeting relevant statutory OH & S and other requirements. Repairs to existing significant infrastructure, lighting, signage and continued co-operation between the users of the site would allow for the retention of heritage significance in the immediate, short term. Other opportunities for addressing these issues through new development are provided in Section 5.8 and Section 6.
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5.8 Future Development & Control of Physical Intervention

5.8.1 Strategic Direction

The future strategic direction relating to the operations and existence of the Geelong Sale Yards on its current site has been the subject of considerable recent investigation. Some of the reports prepared on the Sale Yards have provided an appreciation of the specific strategic and regulatory issues that need to be acknowledged in the preparation of heritage policy.

A. Recent Reports on the Geelong Sale Yards

Numerous Risk and OH&S Audits, Briefing Notes, Feasibility Studies and Livestock Dynamics Reports have been prepared for the City of Greater Geelong in recent years in relation to the strategic direction for the Geelong Sale Yards site.¹⁷¹ Not surprisingly, virtually all of these reports have not addressed the heritage values of the place as part of the future strategic direction for the future retention and management of the yards (hence the purpose of this Report).

Possibly the most relevant and recent principal strategic statement relating to the Geelong Sale Yards is identified in the Camperdown Regional Livestock Selling Centre Business Plan. It includes an interview with management at the City of Greater Geelong, the results on the Geelong Sale Yards being as follows:¹⁷²

1. Recognises the social benefits of the yards.
2. Not prepared to close yards (socially not acceptable).
3. Sees the potential for heritage-based development/retention.
4. Will close if 'forced' to or if the closure is justified.

B. Occupational Health and Safety Requirements

171 These reports are identified in subsequent footnotes and are listed in Section 7 of this Report.

172 Huefner & Associates Pty Ltd, Camperdown Regional Livestock Selling Centre – Business Plan, December 2006, prepared for the Corangamite Shire Council, p.xii.

The most common theme arising from the previous reports on the Geelong Sale Yards is the failure of the yards to meet the most basic Occupational Health and Safety Requirements. This appears to have been made manifest by a lack of regular ongoing maintenance (through the provision of adequate annual funding) and by changing and upgraded health and safety requirements since the construction of the yards in 1869. The operational risk due to the present poor state of the yards has caused one group of agents to cease operating at Geelong.¹⁷³ The cessation of further agents has the potential to greatly impact on the operations of the yards and therefore the heritage significance of the site, as the heritage values of the place rely on its ongoing existing function.

C. SWOT (Strengths, Weakness, Opportunities & Threats) Analysis

A SWOT analysis has been prepared to further inform potential strategic directions and for the provision of heritage policies and recommendations that enable the retention of the heritage values of the place. The SWOT Analysis includes the results of a similar analysis in 2003 (conducted at a meeting of the Geelong Sale Yards Advisory Group) and the results of more recent feedback from officers of the City of Greater Geelong, farmers, producers, and agents (and staff). The full SWOT Analysis is provided as Appendix 8.08. Some conclusions of the analysis are as follows:

STRENGTHS	OPPORTUNITIES
<ul style="list-style-type: none"> • Location – close to CBD for users, rural supplier and smaller rural producers, also good road services. 	<ul style="list-style-type: none"> • Staged refurbishment of existing site – yards and roofing.
<ul style="list-style-type: none"> • Meeting place for exchange of knowledge and ideas as well as sales. Important social benefits of friendship, support and communication. 	<ul style="list-style-type: none"> • Ability to cater for growth of the number of smaller producers in the region (sea changers, baby boomers, early retirees).
<ul style="list-style-type: none"> • The only centre catering for smaller producers in the Geelong region. 	<ul style="list-style-type: none"> • Other potential uses for the site.
<ul style="list-style-type: none"> • Provides a forum for debate on rural & other associated matters. 	
WEAKNESSES	THREATS
<ul style="list-style-type: none"> • Limited capability of run-off of animal waste (wet years). 	<ul style="list-style-type: none"> • Moves to consolidate and privatize other regional sale yards could attract agents and/or producers away from Geelong.
<ul style="list-style-type: none"> • Inefficiencies in stock handling (same loading and unloading area). 	<ul style="list-style-type: none"> • Incompatible development in the area.
<ul style="list-style-type: none"> • Structure of yards – OH & S and Standards issues (significant issues). 	<ul style="list-style-type: none"> • Worksafe.
<ul style="list-style-type: none"> • Poor quality of infrastructure. 	<ul style="list-style-type: none"> • Financial pressures.

D. Policy: Strategic Direction

It is policy that the strategic directions for the management of the Geelong Sale Yards balance the need to meet regulatory requirements with the heritage values of the place.

173 Huefner & Associates Pty Ltd, Geelong Saleyards: Concept/Feasibility Study', prepared for the City of Greater Geelong, November 2003, p.5.

5.8.2 Possible Future Building Developments

A. Proposal by the Geelong Sale Yards Advisory Group

In 2005, the Geelong Sale Yards Advisory Group submitted a proposal to the City of Greater Geelong for the upgrade of the sale yards. This proposal is still relevant from improved operational and regulatory viewpoints and is outlined as follows:¹⁷⁴

The capital investment [of the proposed works] would provide:

- A roof for the cattle sale complex.
- State-of-the-art stock gates and fencing.
- New soft floor pens for the cattle yards.
- New raised buyer walkways.
- New auctioneer's walkways.
- Landscaping of site perimeter.
- Upgraded lighting for night work.
- New sprinkler and watering system.
- Sealing of car park areas.
- Refurbished offices.
- A new kitchen/café.
- Upgraded toilet facilities.
- National Livestock Identification System.
- A new P.A. system.

The works will provide:

- Improved conditions for staff and customers.
- Improved general amenity of the North Geelong site and reduced visual and noise impact for neighbours and passing motorists.
- Substantial landscaping to provide a buffer between sale yards facility and surrounding residential, business and industrial sectors.
- Improved conditions to meet animal welfare needs, ensuring stock are held on soft floors that reduce stress on animals and provide a higher quality end product for meat processors. Stock will be in a more beneficial environmental with lower stress levels maintaining quality. Better quality will result in better prices for both meat and hides.
- It is anticipated that through the upgraded facility, all beasts will be arriving at meat processors in better condition, therefore creating benefits for all users, additional demand and higher prices.
- Roofing the sales complex will remove environmental impact concerns due to reduced run-off from the site and ensure compliance with the Trade Waste Agreement with Barwon Water.
- Retention of the sale yards which has an annual turnover of \$30M and is a large business operating within the Geelong Region.
- Retention of 80 jobs in the Geelong region (stock agents' staff, transport operators, meat processor buyers, sale yards employees, producers and suppliers to rural industries).

174 T. Phillips, Geelong Saleyards Advisory Group, Briefing Note: The Geelong Saleyards Upgrade Proposal, prepared for the City of Greater Geelong, January 2005.

B. Policy: Future Development

Ideally from a heritage viewpoint, the repair and restoration of the existing facility in its present layout, design and function will retain a high level of heritage value for the place. However, it is acknowledged that the current fabric is having a negative impact on operations, health and safety, and potential future function. The need for the sale yards to continue to function for its original purpose to retain heritage value is essential.

It is policy that the sheep yards, southern portion of the cattle yards, Market Office building, former Latrines Shed and former Caretaker's Cottage be retained as part of any new sale yards development.

Opportunities are available for any new roofed yards (having soft floors and other features to meet contemporary regulatory requirements) in the northern portion of the cattle yards, as shown in Drawing 1.05. Additional expansion of covered yards could also be considered in the central northern portion of the site. While the loss of existing significant cattle yard fabric will have some impact on the significance of the place, the retention of some existing fabric and uninterrupted views to the Market Office building along the central thoroughfare and above the retained existing cattle yard area should provide for an adequate level of retained fabric to support the heritage significance of the place.

Further details on the restoration of existing fabric and the construction of new work are provided in Section 6.

5.8.3 Possible Related New Uses

It is policy that consideration is given to diversifying the possible function of the sale yards site through the provision of related uses on non-sale days. This may assist in:

- highlighting the importance of the sale yards to the Geelong area through additional exposure.
- Highlighting the significant heritage values of the sale yards.
- Ensuring the longer-term viability and sustainability of the significant fabric of the sale yards.

Possible related uses that are not considered to have any adverse impact on the principal sale yards use of the site include (but are not limited to):

- Regular farmers' and other product markets on the vacant grassed northern portion of the site.
- Sales centre for rural products.
- Centre for rural industry training.
- Centre of education for kindergarten and school children relating to the agricultural industry and the food chain. This may include the provision of activities, including interpretive information about the early significant sale yards fabric.

5.8.4 Subdivision

The northern grassed area of the site is current underutilized. While this part of the sale yards land has no significance to the current function and historical value of the place, it does partly act as an environmental buffer for neighbouring properties and also provides opportunities for other related uses that may assist with the long term viability of the place (see Section 5.8.3).

It is therefore policy that the subdivision of the northern portion of the site be discouraged if this may have a longer-term negative impact on the future operations of the sale yards on the existing site.

Rationale

The nexus between the optimum retention of heritage values and the meeting of regulatory requirements is considered to be met by the use of the northern portion of the cattle yards for any new stock yards development. Additional related uses for the site should enhance the heritage values of the place.

5.9 Interpretation

Policy

It is policy that appropriate interpretation be provided to give an understanding and appreciation of the history, layout and function of the Geelong Sale Yards.

Interpretive opportunities may include:

- Inclusion of the history and function of the Geelong Sale Yards on the City of Greater Geelong website.
- Development of an appropriate historical display panel in the Bar or Refreshment Room of the Market Office building, explaining the cultural heritage significance of the site.
- Organised Sale Yards Open Days to the general public, with interpretive displays and trails explaining the history and use of the site since 1869. Refreshments could be provided in the Refreshment Room.
- Preparation of an historical booklet on the history and significance of the Geelong Sale Yards, available to the general public and all users of the sale yards.

Rationale

Interpretation provides appropriate ways of highlighting the important components and fabric of the Geelong Sale Yards to the users and general public. In this way, an appreciation of the significance of the place can be achieved on a wider scale.

5.10 Management

Policy

It is policy that the appropriate management of the Geelong Sale Yards site includes the conservation, restoration, maintenance, security and responsible use of the significant fabric. This Report should be used as a reference document for all conservation works.

Management of the property should include:

- Regular maintenance plans that address the Conservation and Maintenance Recommendations in this Report.
- Undertaking urgent repair works as outlined in the Priority Schedule of Works in this Conservation Management Plan.

5.11 Funding Opportunities

Policy

Funding opportunities may be available for restoration works to the Geelong Sale Yards from some Government Departments and other agencies. Some of the financial opportunities currently available include the following.

A. Support From Local Members of Parliament

Seeking the support of the local State and Federal Members of Parliament can help with the success of Government funding applications, as the Members can gain a good understanding of the local needs, and therefore lobby the cause for grants or other assistance.

B. National Heritage Investment Incentive Program (Department of Environment & Water Resources) (Federal Government)

If the Geelong Sale Yards are included on the Victorian Heritage Register, consideration could be given to making application for restoration funds to the National Heritage Investment Incentive. Heritage places must be listed on the Australian Government's National Heritage List, or entered on the Victorian Heritage Register.

Proposed works must be consistent with a current approved management plan, prepared to the satisfaction of the state or territory heritage authority, or by a heritage impact statement, and must be consistent with the Burra Charter. For further details contact the Australian Heritage Council on ph. (03) 6274 1111 or 1800 653 004, or www.deh.gov.au/heritage/programs/

C. Regional Partnership Program (Federal Government)

The Regional Partnerships program brings together the Commonwealth Government's key regional funding programs, operating between 2004-08. It aims to encourage partnerships with communities, government and the private sector to foster the development of self-reliant communities and regions.

The Government supports projects that focus on:

- Strengthening growth and opportunities for economic and social participation in the community.
- Improving access to services, giving priority to communities in regional Australia with a population of less than 5,000.
- Supporting planning, with projects that assist communities to identify and explore opportunities and to develop strategies for action, and
- Assisting structural adjustment, by helping identified communities and regions adjust to major economic, social or environmental change.

For further details, contact the Australian Government Regional Information Services on ph. 1800 026 222. Further details may also be obtained from the program website: <http://www.regionalpartnerships.gov.au/>

D. Heritage Council Assistance Program, Heritage Victoria (State Government)

The Financial Assistance Program supports the conservation of recognized heritage places in Victoria. The program primarily assists privately-owned places listed on the Victorian Heritage Register, but may also fund places included in a Heritage Overlay of a local planning scheme. The inclusion of the Geelong Sale Yards on the Victorian Heritage Register or as a Heritage Overlay is therefore necessary in the first instance.

Funding is provided for the following types of projects:

- General conservation works.
- Urgent conservation works, and
- Facilitation of conservation projects, eg. Preparing Conservation Management Plans, conditions reports, and project management.

Applications are accepted all year round, with applications being considered four times a year.

The Program provides grants and loan funding for capital works and project facilitation. Generally, loans are for three-to-five year periods, and are repaid by quarterly installments of principal and interest. In some cases interest-free loans may be considered.

For further details, contact Heritage Victoria, ph. (03) 9637 9475.

E. Community Support Grant (State Government)

Community Support grants support projects that foster community planning, improved skills in the community, strengthened community organizations and community infrastructure. The Grants support initiatives to:

- Strengthen the capacity of communities.
- Increase local leadership.
- Involve a wide range of groups.
- Support the involvement of volunteers.
- Improve social, learning, cultural, employment and economic opportunities, and
- Improve community environments, resources and infrastructure.

Community organizations, local government; or the philanthropic sector may initiated proposal, provided that:

- Programs and projects are funded for the benefit of Victorians.
- The Applicant is a legal entity.
- The recipient has an Australian Business Number (ABN).
- Any underlying asset created by the project (eg. a building) must be owned by a Federal, State or Local Government, or a non-profit community organization.

For further details, contact the Department of Victorian Communities, Grants Management Unit, ph. 1300 366 356.

F. Heritagecare (State Government)

The Heritagecare program provides opportunities for volunteers to engage with the practical conservation of Victoria's heritage places, objects and collections. Heritagecare comprises two programs – Hands on Heritage and Community Stewardship.

Hands On Heritage: projects are short-term, involving a group of volunteers for up to 5 days. Projects must be suitable for unskilled volunteers, but must have public benefit and be on publicly accessible places, objects and collections with recognized heritage values.

Community Stewardship: projects will be longer term – typically up to six months duration, with a small group of volunteers (1-5) participating for 1-2 days a week. Projects will focus on 'skilling-up' volunteers so that they can sustainably participate in heritage management in their local area.

For further details, contact John Hawker by email at john.hawker@dse.vic.gov.au, or phone Heritage Victoria on ph (03) 9637 9475.

G. Regional Infrastructure Development Fund (State Government)

The Regional Infrastructure Development Fund (RIDF) provides funds for capital works in communities, which are broadly designed to enhance the development of rural and regional Victoria. The Program seeks to:

- Support new industry development.
- Link transport infrastructure.
- Improve tourism facilities, and
- Better link regional Victoria to new opportunities in education and Information and Communication Technologies (ICT) infrastructure.

Submissions for funding must demonstrate the applicant's ability to meet a significant number of following criteria: socio-economic, State and regional priority, project feasibility and delivery and financial.

For further details, contact Regional Development Victoria, ph. 132215 or email RIDF@rdv.vic.gov.au.

H. Creating Better Places, Heritage Grants (State Government)

Creating Better Places Heritage Grants Melbourne 2030 provides funding for the restoration and conservation of recognized heritage places in and around metropolitan activity centres and in cities and towns along the Networked Cities Corridors (including the networked cities corridor of Werribee-Geelong).

Grants are available for capital works projects for recognized heritage places. Works may include repairs and conservation in its broader sense, directed at increasing the use or viability of the place.

Grants are also available for project development, whereby a small number of grants are available to assist communities and councils with projects assessed by Heritage Victoria as being of high potential, by documenting them to a stage where there are accurate costings and are ready to implement.

Applications must be for recognized heritage places within the network cities corridors and generally open and accessible to the public. Private owners must also demonstrate that the proposed conservation project will confer a public benefit upon the wider community. The Geelong Sale Yards would need to be included on the Victorian Heritage Register or as a Heritage Overlay for consideration of this assistance program.

For further details contact Megan McDougall, Heritage Victoria, ph. 9637 9287, or Tony Armstrong, Heritage Victoria, ph. 9637 9281.

I. Victoria's Heritage Grants (State Government)

This program funds repair and conservation works to recognized and protected heritage places or objects. Works may include repairs and conservation in its broadest sense, directed at increasing the use or viability of a place or object. Interpretation projects may also be funded for individual places, collections or objects, or a series or group of places, collections or objects and may take the form of signage, plaques, trails or exhibitions. Places must be located in Victoria and be publicly accessible. Places with limited access will only be considered if there is engagement with the broader community that provides occasional access. The Geelong Sale Yards would need to be included on the Victorian Heritage Register for consideration of this program.

For further details, contact Heritage Victoria by ph. (03) 9637 9281 or by email at heritage.grants@dse.vic.gov.au.

J. Heritage Council Financial Assistance Program (State Government)

The Heritage Council's Financial Assistance Program supports the conservation of recognized heritage places in Victoria. Funding is provided for the following types of projects:

- General conservation works,
- Urgent conservation works, and
- Facilitation of conservation projects.

The Program provides grants and loan funding for capital works and project facilitation. Generally, loans are for three-to-five year periods, and are repaid by quarterly installments of principal and interest. The Geelong Sale Yards would need to be included on the Victorian Heritage Register for consideration of this program.

For further details, contact Heritage Victoria on ph. 9637 9475.

K. R.E. Ross Trust – Community Programs (Private Fund)

The R.E. Ross Trust is a perpetual charitable Trust which provides grants for charitable purposes in Victoria. The Trust gives priority to projects that are designed to develop, test and implement creative solutions to persistent, difficult social and environmental needs and problems. Areas of interest include: Aged Care, Arts and cultural activities, Environmental needs and problems, support for smaller community organizations.

The Trust will consider all applications for charitable purposes but prefers projects which involve volunteers and where there are expectations and plans for the positive impact of the project to be sustained beyond the grant period.

For further details, contact R.E. Ross Trust, ph. (03) 9690 6255.

L. RACV Foundation Environment and Heritage (Private Fund)

The RACV Foundation provides support for charities and worthwhile community causes. Current areas of interest for the Foundation are smaller community based projects in the following categories:

- Conservation, environment and heritage.
- Cultural development and arts.
- Health and well-being.
- Recreation and leisure.
- Community education and training.
- Communication and information.

Projects that cover more than one area are encouraged, as are those which involve partnerships with other community organizations.

Eligible organizations are those that have a broad community reach and profile, meet the funding criteria and can demonstrate sound management and excellence in their activities. Organisations should have a high degree of community and/or volunteer involvement, and demonstrate other fundraising activities and strategies.

For further details, contact: Janice Robins, Executive Officer, RACV Foundation, ph. (03) 9944 8706.

M. The Ian Potter Foundation Grants Program (Private Fund)

The Ian Potter Foundation is one of Australia's largest private philanthropic foundations, providing grants for general charitable purposes in Australia. Its areas of interest are the arts, education, environment and conservation, health, social welfare, science and medical research.

The Foundation aims to encourage the recognition of Australia's cultural heritage as an important component of education and community development. Preservation of the built environment is a further area of support which includes restoration work on numerous important churches and other heritage buildings.

For further details, contact: The Ian Potter Foundation, ph. (03) 9650 3188.

Rationale

Opportunities for additional funding will help to maintain and enhance the significant fabric of the building.

5.12 Lodgment of the Conservation Management Plan Policy

In addition to the provision of a copy of this Conservation Management Plan to the City of Greater Geelong, it is policy that it also be lodged with the State Library Victoria. The State Library Victoria has provided permission for the use of historic photographs in this Report, on the understanding that a copy will be forwarded to the library.

Rationale

Although a copy of the Conservation Management Plan will be located in the offices of the City of Greater Geelong, a copy of the Report in a recognised repository is in accordance with the ICOMOS Burra Charter and provides easier access to those interested in the place or for researchers carrying out more detail investigations.

5.13 Further Research

Historical research for this Report has included a review of the Geelong Town Council's Market Committee Minutes from 1867-1880 and 1906-1925. Although other references have also been sourced, the budget has also limited the review of additional information in the Committee Minutes. Further research of the Minutes may reveal further details about the development, events and people associated with the Geelong Sale Yards.

SECTION 6

6.0 Recommendations, Works & Maintenance

SECTION 6

6.0 Conservation & Maintenance Items

6.1 Introduction

6.1.1 Explanatory

The following Conservation and Maintenance Items relate to the significant external and internal fabric only, and therefore do not include a complete appraisal of maintenance required for the whole site.

The conservation and works items are the result of a visual inspection only.

6.1.2 Priorities & Time Frames for Recommendations

The following conservation and maintenance items have been formatted according to a specific order of priority and hierarchy. Essential works are those conservation, restoration, repair and reconstruction works that should be carried out and given priority.

Short term relates to a 3-year work program, while long terms equates to approximately 5-8 years.

Desirable works are those works that ultimately should also be carried out, but they are not absolutely essential, particularly in the short term. It will be found that there is duplication in some of the recommendations, as Desirable (Short Term) works that are not carried out within a 3-year period should then be considered Essential (Long Term) works, following the hierarchical order of priority.

Recommendations & Scope of Works

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
	Significant Building Fabric	
6.2	CATTLE YARDS (Photos 3.07-3.30)	
6.2.1	Retention of Existing Entire Cattle Yards	
A.	RECOMMENDATIONS	
•	As stated in Section 5, the retention of the entire early extent of the existing cattle yards is ideal from a heritage viewpoint. If consideration is given to the restoration and repair of the existing fabric, to meet basic health and safety requirements, consideration should be given to the following Recommendations and Works and Maintenance Items:	3.07-3.30
•	Retain five pens in the south-west corner of the cattle yards (the pens backing onto the central thoroughfare), including exposed bluestone pen paving and early timber post and rail fencing and gates.	3.07-3.09
•	Retain the original design of the timber post and rail pen fencing around the southern and western perimeter of the cattle yards (rotted fabric may be reconstructed).	3.09
•	Retain elevated narrow covered walkways.	3.22-3.24
•	Retain ramps at the eastern end of the cattle yards. At the very least, the early ramp constructed completely of timber should be retained if other regulations require the replacement of existing ramps.	3.49, 3.52
•	Opportunities are available to replace rotted timber posts with round hollow steels posts (as per the design in Photo 3.19) for posts not located on the southern or western boundaries, or forming part of the fencing to the five pens to be retained and restored.	
•	Opportunities are available to replace rotted timber rails with timber rails to match existing but bolted to introduced hollow steel posts where not located on the southern or western boundaries, or forming part of the fencing to the five pens to be retained and restored.	
•	Opportunities are available to introduce fibrous concrete or other slurries over the original bluestone paving if not within the five pens in the south-west corner to the retained and restored.	
•	Opportunities are available to replace the overly large concrete troughs in pens. They have been introduced and may be replaced with more satisfactory troughs to appropriate size and height.	

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
•	Retain and/or reinstate timber gates to the five pens in the south-west corner. These early gates are identified in pens 43 and 47. Substantially deteriorated or rotted gates elsewhere may be replaced with open steel gates, apart from the five early pens in the south-west corner).	3.10-3.11
B.	CATTLE YARDS: SHORT TERM ESSENTIAL WORKS & MAINTENANCE	
•	Replace substantially weathered and rotted timber posts and rails to pen fencing, to match existing along the southern and western boundaries of the cattle yards, and within the five early pens in the south-west corner.	
•	Replace rotted timber pen rails in timber to match existing. All rails attached to original posts should be constructed to match the original design (with the rails through the centres of the posts).	
•	Introduce steel boots to rotted timber pen and gate post bases if remainder of post is in fair-good condition. The example of an introduced steel boot to an early timber gate post is shown in Photo 3.27.	3.27
•	Replace rotted timber walk planks in timber to match existing.	
•	Replace timber posts and subfloor structure to covered walkways in timber to match existing.	
•	Replace rusted galvanised corrugated steel roof cladding to covered walkways in galvanised corrugated steel to match existing.	
•	Replace rotted timber rails to covered walkways in timber to match existing.	
•	Retain and restore bluestone paving in the five pens in the south-west corner.	
•	Remove cracked and broken down concrete slurry to bluestone pen paving and repave soft stand paving.	
•	Replace rotted timber floor boards (with introduced asphalt finish) to elevated covered walkways with timber boards to match existing. The timber boards should remain exposed, with no asphalt finish applied.	
•	Repair cracked and broken down bluestone wall bases to ramps and adjacent retaining walls.	
•	Repair timber posts and rails to existing early (all timber) ramp.	
6.2.2	Possible Future Development of Cattle Yards	
A.	RECOMMENDATIONS	
•	If consideration is given to the development of new cattle yards with roofs and soft floors to ensure the long term viability of the Sale Yards site, the southern portion of the existing cattle yards, including the southern elevated covered walkway, should be retained, as shown in	

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
	Drawing 1.05 (Appendix 8.01). All existing deteriorated pen fencing and gates should be reconstructed to the original design and construction, as a heritage benefit for the loss of existing significant fabric over the northern portion of the yards. Continued minimal use of the existing retained portion the cattle yards is encouraged. Consideration should also be given to the following Recommendations and Short Term Essential Works and Maintenance Items:	
•	Retain southern portion of cattle yards as shown in Drawing 1.05.	3.07-3.09
•	Retain design of existing original timber post and rail fencing and gates in fair-good condition.	3.07-3.11
•	Retain design of existing covered southern walkway.	
•	Retain existing bluestone pen paving.	
•	Any new buildings and sale yards structures are encouraged to be situated in the location shown in Drawing 1.05 and built of non-reflective materials.	
B.	POSSIBLE FUTURE DEVELOPMENT: SHORT TERM ESSENTIAL WORKS & MAINTENANCE OF RETAINED CATTLE YARDS	
•	Replace substantially weathered and rotted timber posts and rails to pen fencing, to match existing.	
•	Replace deteriorated introduced timber or steel posts with 250 x 250 timber posts to match original posts.	
•	Replace rotted timber pen rails in timber to match existing. All replacement rails should be reconstructed to match the original design (with the rails being attached through the centres of the timber posts).	
•	Introduce steel boots to rotted timber pen and gate post bases if remainder of post is in fair-good condition. The example of an introduced steel boot to an early timber gate post is shown in Photo 3.27.	
•	Replace rotted timber walk planks in timber to match existing.	
•	Replace timber posts and subfloor structure to retained southern covered walkway in timber to match existing.	
•	Replace rusted galvanised corrugated steel roof cladding to retained southern covered walkways in galvanised corrugated steel to match existing.	
•	Replace rotted timber rails to retained southern covered walkway in timber to match existing.	
•	Remove cracked and broken down concrete slurry to bluestone pen paving. Repair and replace paving using mortar of the same strength, texture and colour as existing.	

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
•	Replace rotted timber floor boards (and introduced asphalt finish) to retained southern covered walkway with timber boards to match existing. The timber boards should remain exposed, with no asphalt finish applied.	
•	Repair cracked and broken down bluestone wall bases to ramps and adjacent retaining walls.	
•	Repair timber posts and rails to ramps.	
6.3	SHEEP YARDS (Photos 3.31-3.44)	
6.3.1	RECOMMENDATIONS	
•	Retain existing layout and extent of sheep yards as shown in Drawing 1.04 (Appendix 8.01).	3.01, 3.36
•	Retain timber post and rail pen fencing fronting the bluestone spoon drain towards the eastern end of the yards.	3.44
•	Retain the open shed towards the eastern end of the yards.	3.40-3.42
•	Retain the bluestone spoon drain towards the eastern end of the yards.	
•	Opportunities are available to replace existing introduced steel posts with round hollow steel posts.	
•	Opportunities are available to replace rotted or deteriorated pen rails with timber rails to match existing original rails.	
•	Retain the bluestone pen paving in the yards immediately adjacent to the open shed.	
6.3.2	SHEEP YARDS: SHORT TERM ESSENTIAL WORKS & MAINTENANCE	
•	Replace rotted timber posts and rails to pen fencing in timber to match existing for fencing fronting the bluestone spoon drain that traverses the sheep yards.	
•	Introduce steel boots to rotted timber pen post bases if remainder of post is in fair-good condition.	
•	Remove broken down concrete slurry to bluestone paving with fibrous concrete or other finish (except yards immediately adjacent to the open shed).	
•	Repair cracked and broken down bluestone wall bases to ramps and adjacent retaining walls.	
•	Replace substantially weathered timber posts and rails to ramps in timber to match existing	

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
6.4	MARKET OFFICE BUILDING (Photos 3.53-3.124)	
6.4.1	GENERAL EXTERIOR RECOMMENDATIONS	
•	Retain the existing form and appearance of the Market Office building.	3.53
•	The Market Office building is in poor structural condition. It is recommended that the Engineer's Report by C.W. Fallaw and Associates Pty Ltd (Appendix 8.09) be adopted for restoration, repair and where necessary reconstruction works (apart from the replacement of the roof sheeting with zincalume). Any existing timber roof, wall and floor structure in fair-good condition should be retained. Details of the basic required works are provided in the following Short Term Essential Works & Maintenance section.	
•	External Painting All painted surfaces should be painted in existing colours.	3.56-60
•	Opportunities are available to reinstate original window opening in the northern gable end. If the window no longer survives, replace with a timber framed four paned double hung window to match existing.	3.72
•	Opportunities are available to remove the introduced cream brick chimney breast on the south elevation. The chimney should be removed and the wall reconstructed with timber stud wall frame and galvanised corrugated steel cladding and painted to match existing cladding.	3.74
6.4.2	MARKET OFFICE BUILDING: SHORT TERM ESSENTIAL EXTERIOR WORKS & MAINTENANCE	
A.	Roofs	
•	Remove overhanging tree on roof (west elevation).	3.75
•	Remove debris build up in roof valleys and gutters.	
•	Remove existing roof cladding and repair timber roof structure as per Engineer's Report (Appendix 8.09).	
•	Replace rusted roof cladding in galvanised corrugated steel to match existing profile.	3.61
•	Replace rusted roof cappings and flashings in galvanised steel to match existing.	3.60-3.61, 3.73
•	Replace downpipes with round 90mm diameter galvanised steel downpipes and connect to sealed drainage.	3.79
•	Replace rusted gutters and introduced zincalume quad gutters with galvanised steel quad gutters.	3.61

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
•	Sand, prime and paint weathered timber fascias (including verandah). Replace rotted fascias in timber to match existing.	3.56-3.61
•	Replace weathered timber bargeboards to northern gable end and to the southern wing in timber to match existing (east elevation).	3.72
•	Sand, prime and paint weathered timber bargeboards and louvres to end of gambrel roof (north elevation).	3.73
•	Sand, prime and paint weathered timber bargeboards and louvres to end of gambrel roof (south elevation).	
•	Opportunities are available to install sarking and insulation as required.	
B.	Floor Structure	
•	Lower ground level around building and grade away from building. There should be a clearance of 150 mm from ground level to the underside of floor bearers.	
•	Repair floor structure by removing existing floor framing and stumps as per Engineer's Report (Appendix 8.09). Restump floor with concrete stumps with appropriate concrete pads.	
C.	Walls	
•	Remove birds' nest in eaves (south elevation).	
•	Repair timber wall structure as per Engineer's design.	
•	Replace rotted baseboards to northern gable end and southern wing in timber to match existing (east elevation).	3.59, 3.76
•	After structural wall repairs have been completed, re-attach all existing galvanised corrugated steel roof cladding in fair-good condition and treat with rust inhibitor.	
•	Replace rusted galvanised corrugated wall cladding in poor condition with galvanised corrugated steel cladding to match existing profile.	
•	Paint all wall cladding to match existing colour.	
•	Investigate the need for a damp proof course in base of chimney and repair loose brickwork with mortar mix to match existing original (south elevation).	3.74
D.	Verandah	
•	Remove introduced asphalt verandah floor and steps and replace with timber boards and steps. Subfloor air vents should be provided in the new timber risers to provide satisfactory subfloor ventilation under the building.	3.77

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
•	Repair verandah post bases after the removal and replacement of the verandah floor, and sand, prime and paint posts and fascias to match existing colour.	3.78
E.	Windows & Doors	
•	Replace damaged timber window frames and sashes in southern end in timber to match existing (east elevation).	3.60
•	Replace rotted timber window sills (southern end) in timber to match existing (east elevation).	3.60
•	Replace rotted timber to east window in timber to match existing (north elevation).	3.73
•	Replace rotted timber window frames, sashes and sills in timber to match existing (west elevation).	3.75
•	Replace damaged glazing with glass to match existing.	
•	Replace damaged fly screens over windows to match existing.	
•	Repair split timber boards in door (with quarantine sign affixed) under verandah (east elevation).	3.68
•	After roof, floor and wall repairs have been completed, ease all doors to allow closure.	
•	Sand, prime and paint all windows and doors in colours to match existing.	
6.4.3	MARKET OFFICE BUILDING: LONG TERM DESIRABLE EXTERIOR WORKS & MAINTENANCE	
•	Replace aluminium framed window with paired timber framed double hung windows (north elevation).	3.73
6.4.4	MARKET OFFICE BUILDING: GENERAL INTERIOR RECOMMENDATIONS	
•	Retain the existing layout, design and detailing of the building interiors including the Bar area, Refreshment Room, Kitchen and store comprising the southern portion of the building (the portion of the building in the most unsound structural condition), not including bar and kitchen fixtures. This portion of the building should be repaired and where necessary reconstructed to match the existing layout and design, and not changed as suggested in the Engineer's Report (appendix 8.09).	3.81-3.124
•	Retain the existing original stained finish to the timber lined ceiling, wall, architrave, door and fixture finishes.	3.81-3.91

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
A.	STOCK & STATION AGENTS' OFFICES	
A.1	SALES OFFICES (FRONT OFFICES)	
A.1.1	RECOMMENDATIONS	
•	Retain original (1913) coved, v-jointed stained timber lining board ceilings.	3.82-.385
•	Retain original (1913) timber scotia mould cornices.	3.85
•	Retain original (1913) v-jointed stained timber lining board walls.	3.85
•	Retain original (1913) angled timber skirtings.	3.86
•	Retain original (1913) timber floor boards.	3.86-3.87
•	Retain original (1913) timber framed four paned double hung windows.	3.84
•	Retain original (1913) simple timber window and door architraves.	
•	Retain original (1913) v-jointed timber doors with early door furniture.	3.89
•	Retain original (1913) timber sale benches (fixed).	3.86-3.87
•	Retain original (1913) timber in-trays on benches.	
•	Retain original (1913) timber shelving for paperwork on walls.	3.88
•	Retain original (1913) ceiling flues.	3.86
A.2	PRIVATE OFFICES (REAR OFFICES)	
A.2.1	RECOMMENDATIONS	
•	Retain original (1913) coved, v-jointed stained timber lining board ceilings.	
•	Retain original (1913) timber scotia mould cornices.	
•	Retain original (1913) v-jointed stained timber lining board walls.	3.89-90
•	Retain original (1913) angled timber skirtings.	

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
•	Retain original (1913) timber floor boards.	3.90
•	Retain original (1913) timber framed four paned double hung windows.	3.91
•	Retain original (1913) simple timber window and door architraves.	
•	Retain original (1913) v-jointed timber doors with early door furniture.	3.89
•	Retain original (1913) timber writing tables.	3.91
•	Retain original (1913) ceiling flues.	
•	Retain original (1913) timber bench seats.	3.90
A.3	BAR ROOM	
A.3.1	RECOMMENDATIONS	
•	Retain design of original (1913) coved, v-jointed timber lining board ceilings. Opportunities are available to paint the ceiling.	3.92-3.95
•	Retain design of original (1913) timber scotia mould cornices. Opportunities are available to paint the cornices.	
•	Retain design of original (1913) v-jointed timber lining board walls. Opportunities are available to paint the walls.	3.94-95
•	Opportunities are available to replace the introduced timber skirtings. Opportunities are available to paint the skirtings.	
•	Retain design of original (1913) timber floor boards. Opportunities are available replace the vinyl floor covering around the bar.	3.95
•	Retain design of original (1913) timber framed four paned fixed windows.	3.97
•	Retain design of original (1913) simple timber window and door architraves.	
•	Retain the V-jointed timber doors and door furniture (double door opening, east wall).	3.98
•	Opportunities are available to replace the introduced flush panel timber doors (south and east walls) with v-jointed timber doors.	
•	Opportunities are available to remove and/or replace the introduced fixed bar counter, sinks and basins.	

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
A.4	REFRESHMENT ROOM	
A.4.1	RECOMMENDATIONS	
•	Retain original (1913) coved, v-jointed timber lining board ceilings. Opportunities are available to paint the ceiling.	3.99-3.101
•	Retain original (1913) timber scotia mould cornices. Opportunities are available to paint the cornices.	3.105
•	Retain original (1913) v-jointed timber lining board walls. Opportunities are available to paint the walls.	3.103
•	Retain original (1913) angled timber skirtings. Opportunities are available to paint the skirtings.	3.103
•	Retain original (1913) timber floor boards. Opportunities are available to replace the vinyl floor covering.	
•	Retain original (1913) timber framed four paned double hung windows.	
•	Retain original (1913) simple timber window and door architraves.	
•	Opportunities are available to replace the introduced flush panel timber doors (north wall) with v-jointed timber doors. Opportunities are also available to reinstate the original double door opening on the north wall, with the introduction of v-jointed timber doors.	
•	Opportunities are available to reinstate missing door to the kitchen with a v-jointed timber door.	
•	Retain original (1913) ceiling flues.	3.106
A.5	KITCHEN	
A.5.1	RECOMMENDATIONS	
•	Retain design of original (1913) coved, v-jointed timber lining board ceilings. Opportunities are available to paint the ceiling to meet the relevant health requirements.	3.107-3.110
•	Retain design of original (1913) timber scotia mould cornices. Opportunities are available to paint the cornices.	3.117
•	Retain design of original (1913) v-jointed timber lining board walls. Opportunities are available to paint the walls to meet the relevant health requirements.	3.110
•	Retain design of original (1913) angled timber skirtings. If Health Regulations require coved vinyl skirtings, the vinyl should cover over the original timber skirtings.	
•	Retain design of original (1913) timber floor boards. Opportunities are available to replace the floor covering.	

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
•	Retain design of original (1913) timber framed four paned double hung windows (see exterior works for repair details).	3.108
•	Retain design of original (1913) simple timber window and door architraves.	3.111
•	Retain original (1913) v-jointed timber doors with early door furniture (south and east walls).	3.111
•	Opportunities are available to remove the introduced fireplace in the south-west corner and replace with updated stove and flue/ventilation system to meet relevant health requirements. If necessary, the early (altered) fireplace may also be altered internally to meet relevant health requirements. Alternatively, opportunities are available to line the fireplaces with sheet metal or similar panels to enable appropriate cleaning, in accordance with relevant health requirements.	3.113-3.114
•	Opportunities are available to replace the bench and cupboard units on the west and north walls, with continuous benches along the walls to meet relevant health requirements.	3.115
•	Opportunities are available to introduce new over and under bench units, to meet relevant health requirements.	
•	Opportunities are available to replace the existing taps with single outlet flick level tap, to meet relevant health requirements.	3.115
A.6	STAFF LUNCH ROOM	
A.6.1	RECOMMENDATIONS	
•	Retain original (1913) coved, v-jointed timber lining board ceilings. Opportunities are available to paint the ceilings.	3.119-3.122
•	Retain original (1913) timber scotia mould cornices. Opportunities are available to paint the cornices.	
•	Retain original (1913) v-jointed timber lining board walls. Opportunities are available to paint the walls.	3.120
•	Retain original (1913) angled timber skirtings. Opportunities are available to paint the skirtings.	
•	Retain original (1913) timber floor boards. Opportunities are available to replace the floor covering.	
•	Retain original (1913) v-jointed timber door with early door furniture (west wall)	3.124
•	Opportunities are available to replace the introduced aluminium and timber framed window openings on the north and east walls with timber framed double hung windows.	3.121
•	Opportunities are available to replace the introduced flush panel timber door (north wall) with a v-jointed timber door.	3.121
•	Opportunities are available to remove and/or replace the introduced kitchen sink and cupboards.	3.121

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
A.7	STAFF BATHROOM	
A.7.1	RECOMMENDATIONS	
•	Opportunities are available to replace all the ceiling, wall and floor finishes in this space.	3.123
•	Retain original (1913) two paned timber framed double hung window	
A.8	SMALL OFFICE (NORTH END)	
A.8.1	RECOMMENDATIONS	
•	Retain original (1913) coved, v-jointed timber lining board ceilings. Opportunities are available to paint the ceiling.	
•	Retain original (1913) timber scotia mould cornices. Opportunities are available to paint the cornices.	
•	Retain original (1913) v-jointed timber lining board walls. Opportunities are available to paint the walls.	
•	Retain original (1913) angled timber skirtings. Opportunities are available to paint the skirtings.	
•	Retain original (1913) timber floor boards. Opportunities are available to replace the floor covering.	
•	Retain original (1913) two paned timber framed double hung window (north wall). See exterior recommendations for repairs.	
•	Opportunities are available to reinstate the timber framed double hung window on the east wall.	
•	Retain original (1913) v-jointed boarded timber door (south wall).	
•	Retain original (1913) ceiling flue.	
•	Retain early timber writing desk.	
6.5	FORMER LATRINES SHED	
6.5.1	GENERAL EXTERIOR RECOMMENDATIONS	
•	Retain the existing form, design and construction appearance.	3.125-127

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
6.5.2	FORMER LATRINES SHED: SHORT TERM ESSENTIAL EXTERIOR WORKS & MAINTENANCE	
•	Replace rusted roof cladding, capping and quad gutters in galvanised steel to match existing.	3.125-3.127
•	Introduce additional 90 mm round galvanised steel downpipes and connect to sealed drainage.	
•	Lower ground level and grade away from building.	
•	Opportunities are available to remove the introduced galvanised corrugated steel cladding under eaves and repair the original timber lattice screens.	3.126
•	Repair, sand, prime and paint timber fascias.	3.125-3.127
•	Repair, sand, prime and paint weathered timber strips to original timber lattice screens under eaves.	3.125-3.127
•	Repair timber wall frames.	3.130-3.131
•	Replace substantially rusted corrugated sheet metal wall cladding to match existing.	
•	Treat corrugated sheet metal wall cladding in fair-good condition with rust inhibitor.	
•	Paint exterior of building to match existing.	
6.6	FORMER CARETAKER'S COTTAGE	
6.6.1	RECOMMENDATIONS	
•	Retain gabled form and design of the former Caretaker's Building.	3.132-3.136
•	Retain original coved beaded edged timber lining board ceiling (interior). Opportunities are available to paint the ceiling.	
•	Retain original beaded edged timber lining board walls with early brown painted dado (interior).	3.138
•	Retain original timber floor boards in good condition (interior).	3.139
•	Retain original timber writing bench (interior).	

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos
6.6.2	FORMER CARETAKER'S BUILDING: SHORT TERM ESSENTIAL WORKS & MAINTENANCE	
•	Roofs	
•	Repair timber roof structure to match existing.	
•	Replace rusted roof cladding and capping with galvanised corrugated steel to match existing.	3.132-3.135
•	Replace half round gutters (north and south elevations) in galvanised steel to match existing profile.	3.136
•	Introduce round 90mm galvanised downpipes and connect to sealed drainage.	
•	Replace rotted timber bargeboards (east and west elevations) to match existing.	3.133-3.135
•	Replace weathered timber fascias (north and south elevations) to match existing.	3.132, 3.136
•	Replace weathered and missing timber finials on the gable ends in turned timber to match existing.	3.133-3.134
•	Floor Structure	
•	Repair floor structure by removing existing floor framing and stumps. Restump floor with concrete stumps and appropriate concrete pads to Engineer's design.	3.139
•	Replace rotted timber floor boards in timber to match existing.	3.139
•	Walls	
•	Repair rotted timber wall structure (studs, top plates and bottom plates) in timber to match existing.	3.137
•	Replace rotted and deteriorated timber weatherboard wall cladding to match existing.	3.137
•	Replace rotted timber baseboards to match existing.	3.137
•	Windows & Doors	
•	Replace timber doors (south elevation) in vertical beaded edged timber boards to match existing	3.136
•	Repair deteriorated timber window frame and reinstate glazing (west elevation).	3.133
•	Reinstate timber framed window on east elevation.	3.134
•	Sand, prime and paint building exterior in red oxide to match existing.	

6.7 Priority Schedule of Works

Although it is recommended that all the **SHORT TERM ESSENTIAL** Works and Maintenance items listed in the previous sections be carried out, the following is a priority order for the most critical of these works. This Schedule of Works should be considered in conjunction with the Engineer's Report provided as Appendix 8.09.

6.7.1 CATTLE YARDS

1. Replace substantially weathered and rotted timber posts and rails to pen fencing, to match existing along the southern and western boundaries of the cattle yards, and within the five early pens in the south-west corner.

2. Replace rotted timber pen rails in timber to match existing. All rails attached to original posts should be constructed to match the original design (with the rails through the centres of the posts).

3. Introduce steel boots to rotted timber pen and gate post bases if remainder of post is in fair-good condition. The example of an introduced steel boot to an early timber gate post is shown in Photo 3.27.

4. Replace rotted timber walk planks in timber to match existing.

5. Replace timber posts and subfloor structure to covered walkways in timber to match existing.

6. Replace rusted galvanised corrugated steel roof cladding to covered walkways in galvanised corrugated steel to match existing.

7. Replace rotted timber rails to covered walkway in timber to match existing.

8. Retain and restore bluestone paving in the five pens in the south-west corner.

9. Remove cracked broken down concrete slurry to bluestone pen paving and repave with suitable soft stand paving.

10. Replace rotted timber floor boards (with introduced asphalt finish) to elevated covered walkways with timber boards to match existing. The timber boards should remain exposed, with no asphalt finish applied.

11. Repair cracked and broken down bluestone wall bases to ramps and adjacent retaining walls.

12. Repair timber posts and rails to existing early (all timber) ramp.

6.7.2 SHEEP YARDS

1. Replace rotted timber posts and rails to pen fencing in timber to match existing for fencing fronting the bluestone spoon drain that traverses the sheep yards.

2. Introduce steel boots to rotted timber pen post bases if remainder of post is in fair-good condition.

3. Remove broken down concrete slurry to bluestone paving and replace with fibrous concrete or other finish (except yards immediately adjacent to the open shed).

4. Repair cracked and broken down bluestone wall bases to ramps and adjacent retaining walls.

5. Replace substantially weathered timber posts and rails to ramps in timber to match existing

6.7.3 MARKET OFFICE BUILDING

Roofs

1. Remove tree overhanging roof (west elevation).
 2. Remove debris build up in roof valleys and gutters.
 3. As per Engineer's Report (Appendix 8.09) remove existing roof cladding and repair timber roof structure. Add sarking and insulation to modern requirements.
 4. Replace rusted roof cladding in galvanised corrugated steel to match existing profile (not zincalume as indicated in Engineer's Report).
 5. Replace rusted roof cappings and flashings in galvanised steel with profiles to match existing.
 6. Replace downpipes with round 90mm diameter galvanised steel downpipes and connect to sealed drainage.
 7. Replace rusted gutters and introduced zincalume quad gutters with galvanised steel quad gutters.
 8. Sand, prime and paint weathered timber fascias (including verandah). Replace rotted fascias in timber to match existing.
 9. Replace weathered timber bargeboards to northern gable end and to the southern wing in timber to match existing (east elevation).
 10. Sand, prime and paint weathered timber bargeboards and louvres to end of gambrel roof (north elevation).
 11. Sand, prime and paint weathered timber bargeboards and louvres to end of gambrel roof (south elevation).
-

Floor Structure

12. Lower ground level around building and grade away from building. There should be a clearance of 150 mm from ground level to the underside of floor bearers.
 13. Repair floor structure by removing existing floor framing and stumps as per Engineer's Report (Appendix 8.09). Restump floor with concrete stumps with appropriate concrete pads to Engineer's Design.
-

Walls

15. Remove birds' nest in eaves (south elevation).
 16. As per Engineer's Report (Appendix 8.09), remove existing external wall cladding and repair timber wall structure. Opportunities are available to install sarking and insulation.
 17. Replace rotted baseboards to northern gable end and southern wing in timber to match existing (east
 18. After structural wall repairs have been completed, re-attach all existing galvanised corrugated steel roof cladding in fair-good condition and treat with rust inhibitor.
 19. Replace rusted galvanised corrugated wall cladding in poor condition with galvanised corrugated steel cladding to match existing profile.
 20. Paint all wall cladding to match existing colour.
 21. Investigate the need for a damp proof course in base of chimney and repair loose brickwork with mortar mix to match existing original (south elevation).
-

Verandah

22. Remove introduced asphalt verandah floor and steps and replace with timber boards and steps. Subfloor air vents should be provided in the new timber risers to provide satisfactory subfloor ventilation under the building.
23. Repair verandah post bases after the removal and replacement of the verandah floor, and sand, prime and paint posts and fascias to match existing colour.

Windows & Doors

24. Replace damaged timber window frames and sashes in southern end in timber to match existing (east elevation).
25. Replace rotted timber window sills (southern end) in timber to match existing (east elevation).
26. Replace rotted timber to east window in timber to match existing (north elevation).
27. Replace rotted timber window frames, sashes and sills in timber to match existing (west elevation).
28. Replace damaged glazing with glass to match existing.
29. Replace damaged fly screens over windows to match existing.
30. Repair split timber boards in door (with quarantine sign affixed) under verandah (east elevation).
31. After roof, floor and wall repairs have been completed, ease all doors to allow closure.
32. Sand, prime and paint all windows and doors in colours to match existing.

6.7.4 FORMER LATRINES SHED

1. Replace rusted roof cladding, capping and quad gutters and in galvanised steel to match existing.
2. Introduce additional 90 mm round galvanised steel downpipes and connect to sealed drainage.
3. Lower ground level and grade away from building.
4. Repair the original timber lattice screens under eaves.
5. Repair, sand, prime and paint timber fascias.
6. Repair, sand, prime and paint weathered timber strips of original timber lattice screens under eaves.
7. Repair timber wall frames.
8. Replace substantially rusted corrugated sheet metal wall cladding to match existing.
9. Treat corrugated sheet metal wall cladding in fair-good condition with rust inhibitor.
10. Paint exterior of building to match existing.

6.7.5 FORMER CARETAKER'S COTTAGE

Roofs

1. Repair timber roof structure to match existing.
 2. Replace rusted roof cladding and capping with galvanised corrugated steel to match existing.
-

-
3. Replace half round gutters (north and south elevations) in galvanised steel to match existing profile.
-
4. Introduce round 90mm galvanised downpipes and connect to sealed drainage.
-
5. Replace rotted timber bargeboards (east and west elevations) to match existing.
-
6. Replace weathered timber fascias (north and south elevations) to match existing.
-
7. Replace weathered and missing timber finials on the gable ends in turned timber to match existing.
-

Floor Structure

-
8. Repair floor structure by removing existing floor framing and stumps. Restump floor with concrete stumps on concrete pads to Engineer's design.
-
9. Replace rotted timber floor boards in timber to match existing.
-

Walls

-
10. Repair rotted timber wall structure (studs, top plates and bottom plates) in timber to match existing.
-
11. Replace rotted and deteriorated timber weatherboard wall cladding to match existing.
-
12. Replace rotted timber baseboards to match existing.
-

Windows & Doors

-
13. Replace timber doors (south elevation) in vertical beaded edged timber boards to match existing
-
14. Repair deteriorated timber window frame and reinstate glazing (west elevation).
-
15. Reinstated timber framed window on east elevation.
-
16. Sand, prime and paint building exterior in red oxide to match existing.
-

SECTION 7

7.0 Bibliography

7.0 Bibliography

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SECTION 8

8.0 Appendices

8.01 Drawings

8.02 Historical Figures

8.03 Contemporary Photographs

8.04 Comparative Analysis Figures

8.05 Building Schedules

8.06 Australia ICOMOS Burra Charter

8.07 Criteria for Assessment of Cultural Heritage Significance adopted by the Heritage Council of Victoria

8.08 SWOT Analysis

8.09 Engineer's Report on Market Office building by C.W. Fallaw & Associates Pty Ltd

8.10 Certificates of Title

8.11 City of Geelong: Conditions for Leasing the Kitchen Dining Room & Bar, 1937

8.01 Drawings

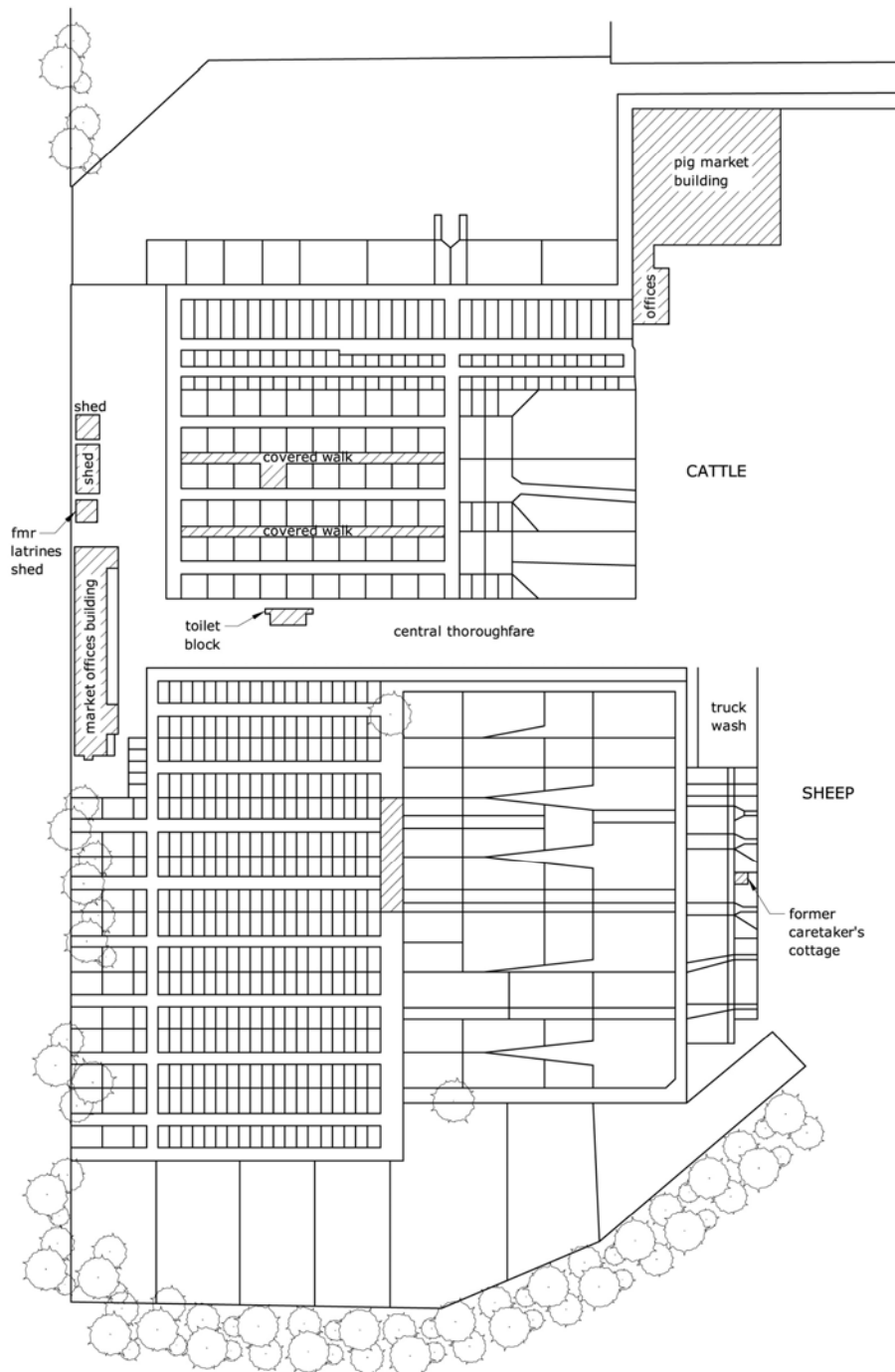
Drawing 1.01: Geelong Sale Yards Site Plan


Drawing 1.02: Market Office Building Photographic Key

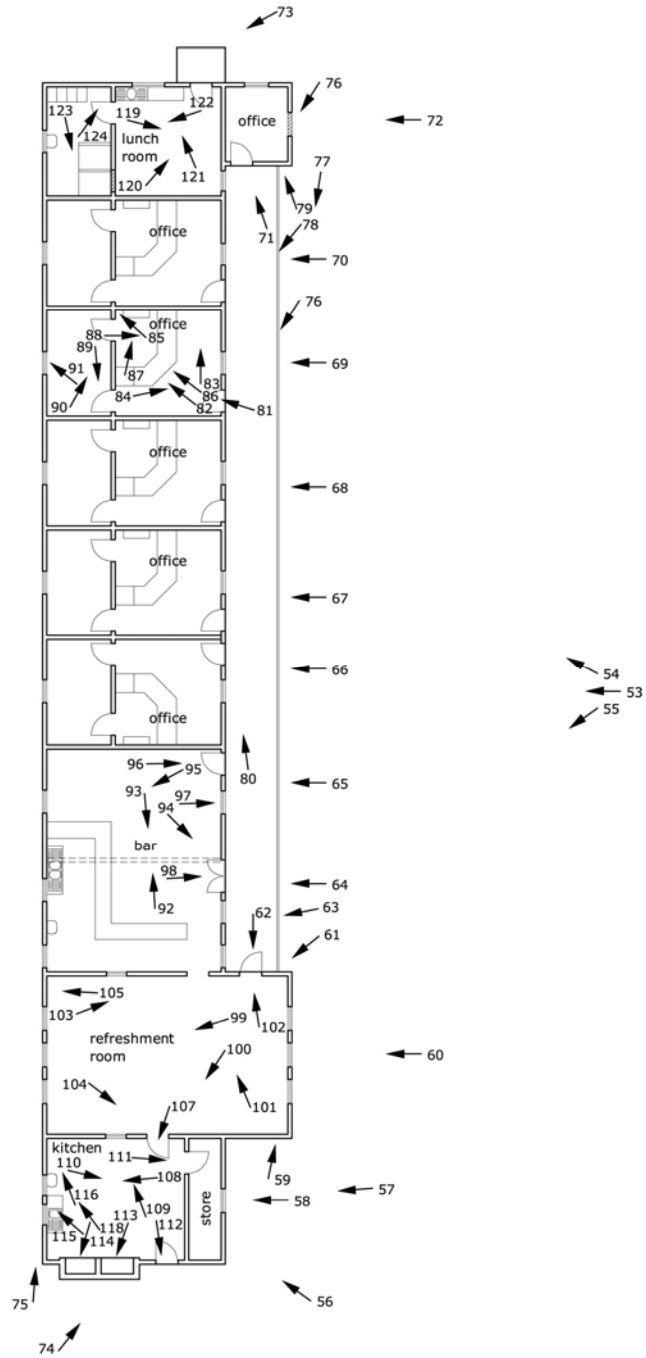
Drawing 1.03: Market Office Building Integrity Key

Drawing 1.04: Plan of Original Extent of Cattle & Sheep Pens & Yards

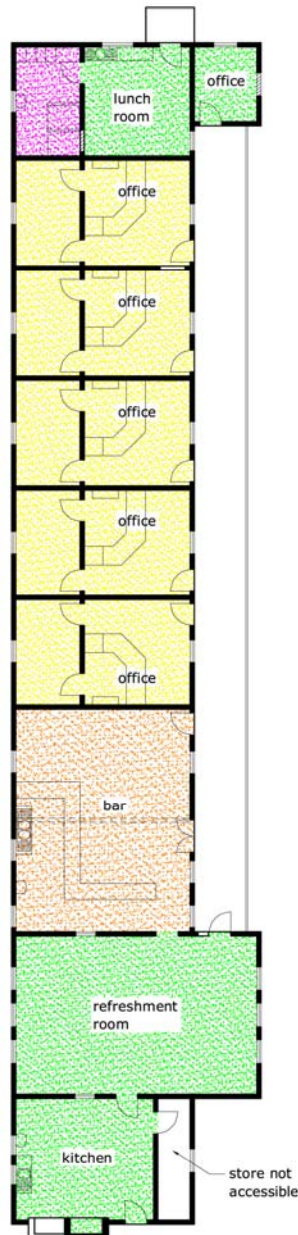
Drawing 1.05: Geelong Sale Yards Development Footprint Plan








Geelong Saleyards Conservation Management Plan Site Plan	Drawing number : 1.01	project north
	Not to Scale Drawn by : Gary Johnson June 2007	



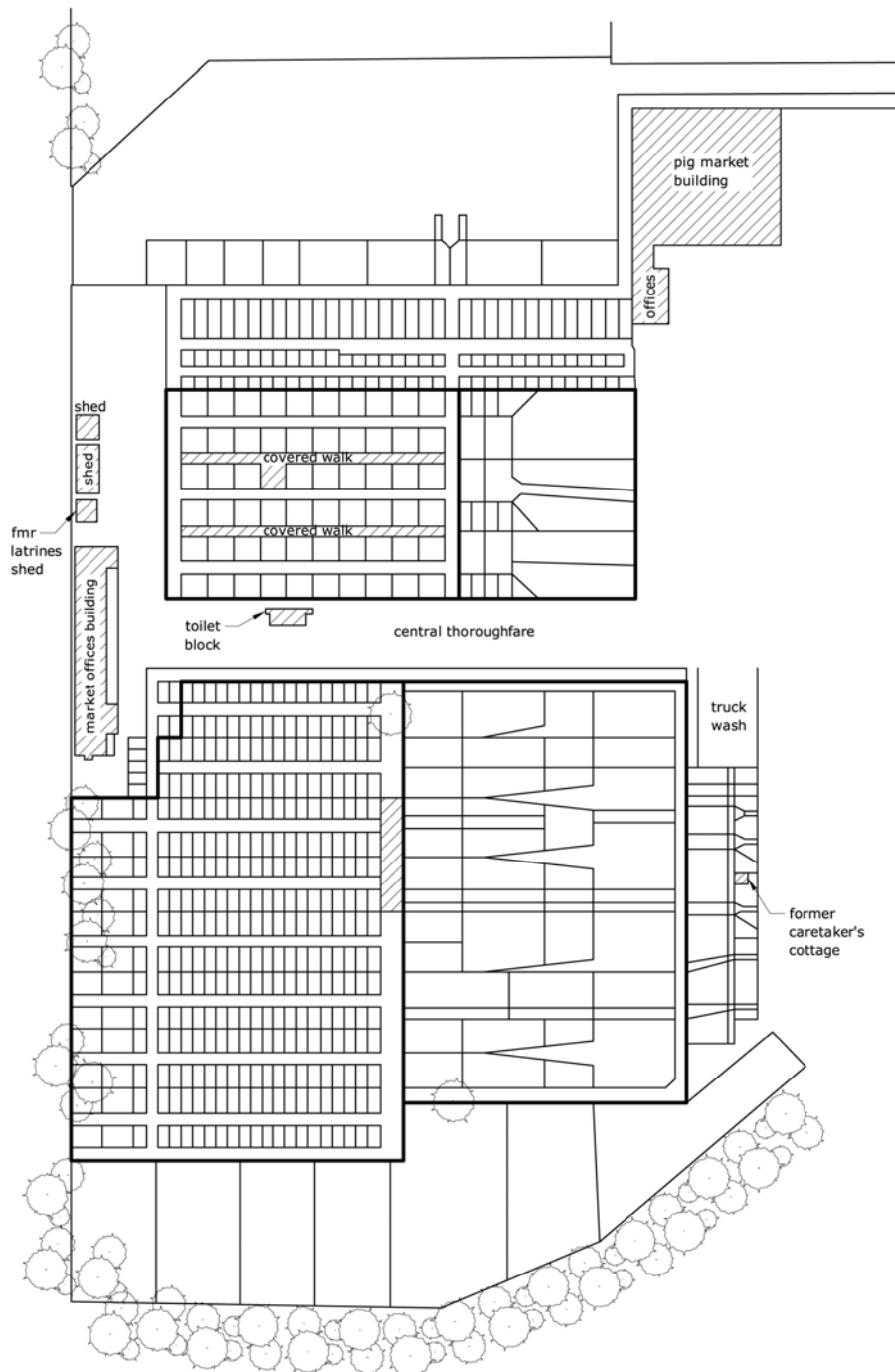
<p>Geelong Saleyards Conservation Management Plan</p> <p>Cattle Market Offices Photographic Key</p>	<p>Drawing number : 1.02</p>	<p>project north</p>
	<p>Not to Scale Drawn by : Gary Johnson June 2007</p>	




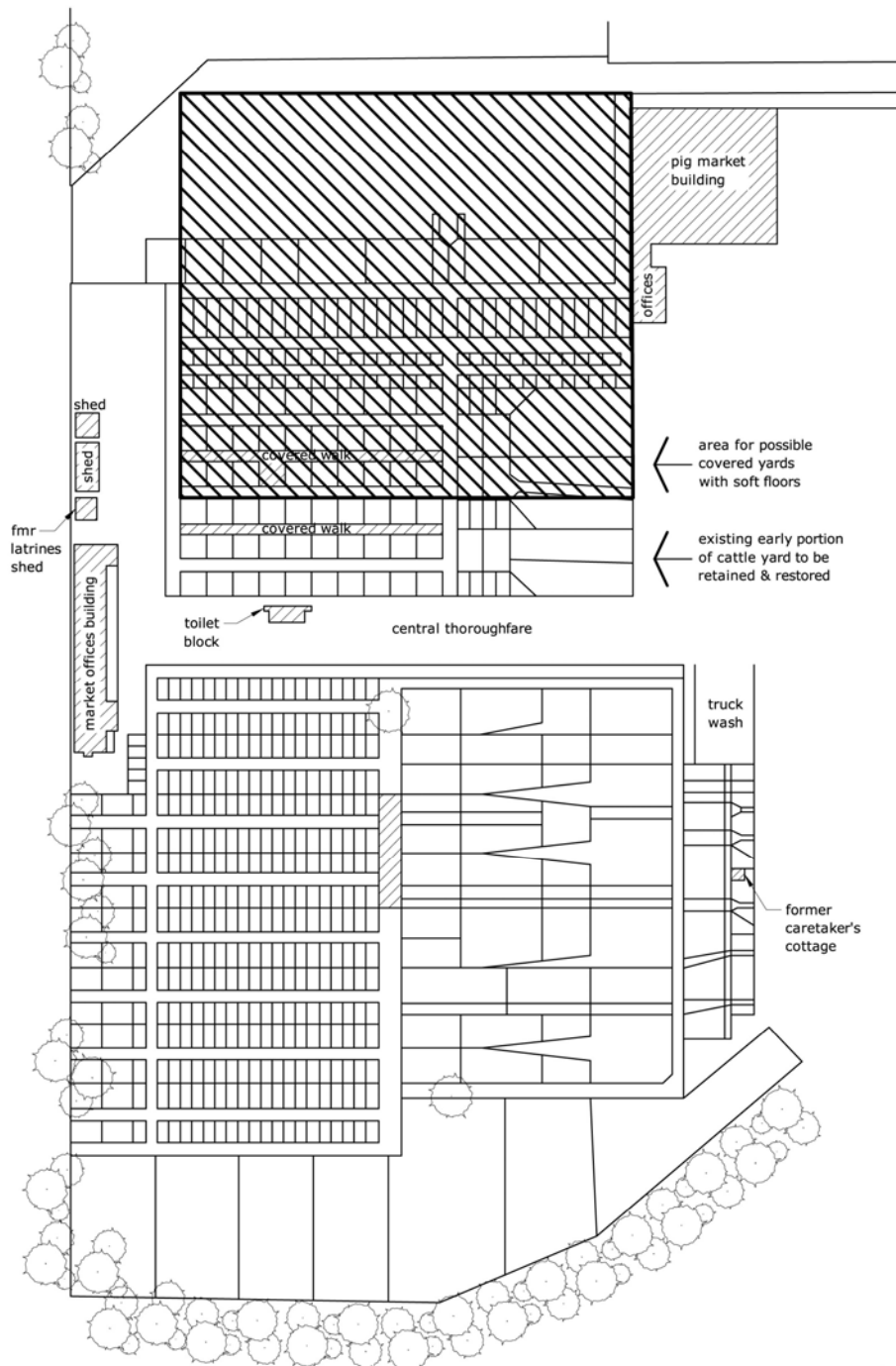
Key To Symbols & Colours


-  **Significant Original (1913) Walls**
-  **High Integrity Spaces**
the spaces represent original layouts & details.
-  **Moderate - High Integrity Spaces**
the spaces represent original layouts but there have been some minor changes to details.
-  **Moderate Integrity Spaces**
the spaces have altered layouts but most details are intact.
-  **Low Integrity Spaces**
the details in these spaces have been substantially altered.

<p>Geelong Saleyards Conservation Management Plan</p> <p>Cattle Market Offices Integrity Key</p>	<p>Drawing number : 1.03</p>	<p>project north</p>
	<p>Not to Scale Drawn by : Gary Johnson June 2007</p>	



Geelong Saleyards Conservation Management Plan Plan showing possible 19th century extent of cattle & sheep pens & yards.	Drawing number : 1.04	project north
	Not to Scale Drawn by : Gary Johnson June 2007	



<p>Geelong Saleyards Conservation Management Plan</p> <p>Development Footprint Plan</p>	<p>Drawing number : 1.05</p>	<p>project north</p>
	<p>Not to Scale Drawn by : Gary Johnson June 2007</p>	

8.02 Historical Figures



Figure 2.01: Taylor, Map of Geelong, 1854. Kildare is shown on the northern (upper) portion of the map. Source: Susie Zada.

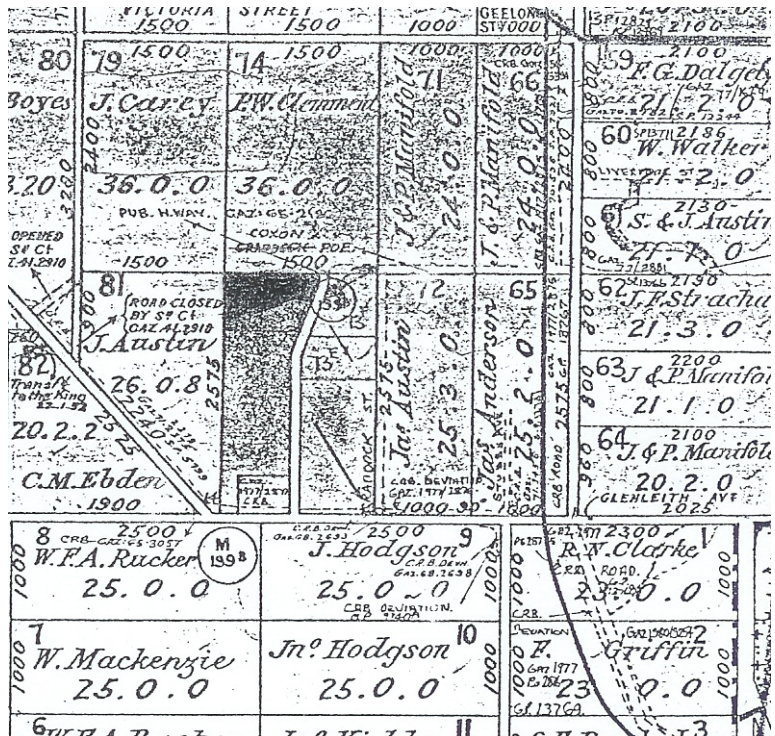


Figure 2.02: Parish Plan of Moorpanyal, n.d. [1962], showing approximate location of Kildare. The shaded allotment shows the original Crown Reserve for the Sale Yards (allotment 73). Source: Department of Sustainability & Environment, Crown Land file.

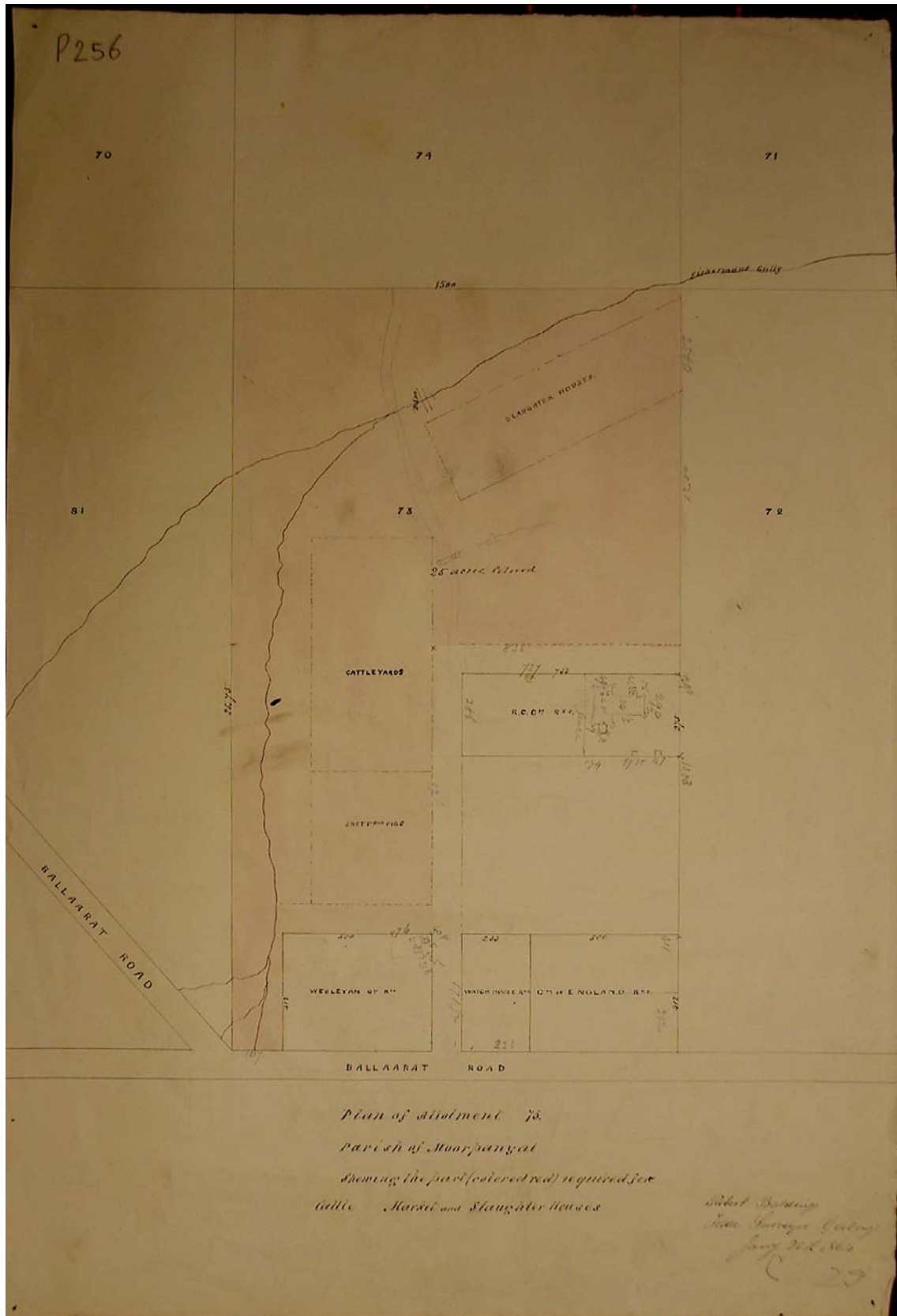


Figure 2.03: Robert Balding, Plan of Proposed Location of Cattle Market and Slaughter houses, 20 February 1864. Source: Geelong Council Plans collection, P256, Geelong Heritage Centre.

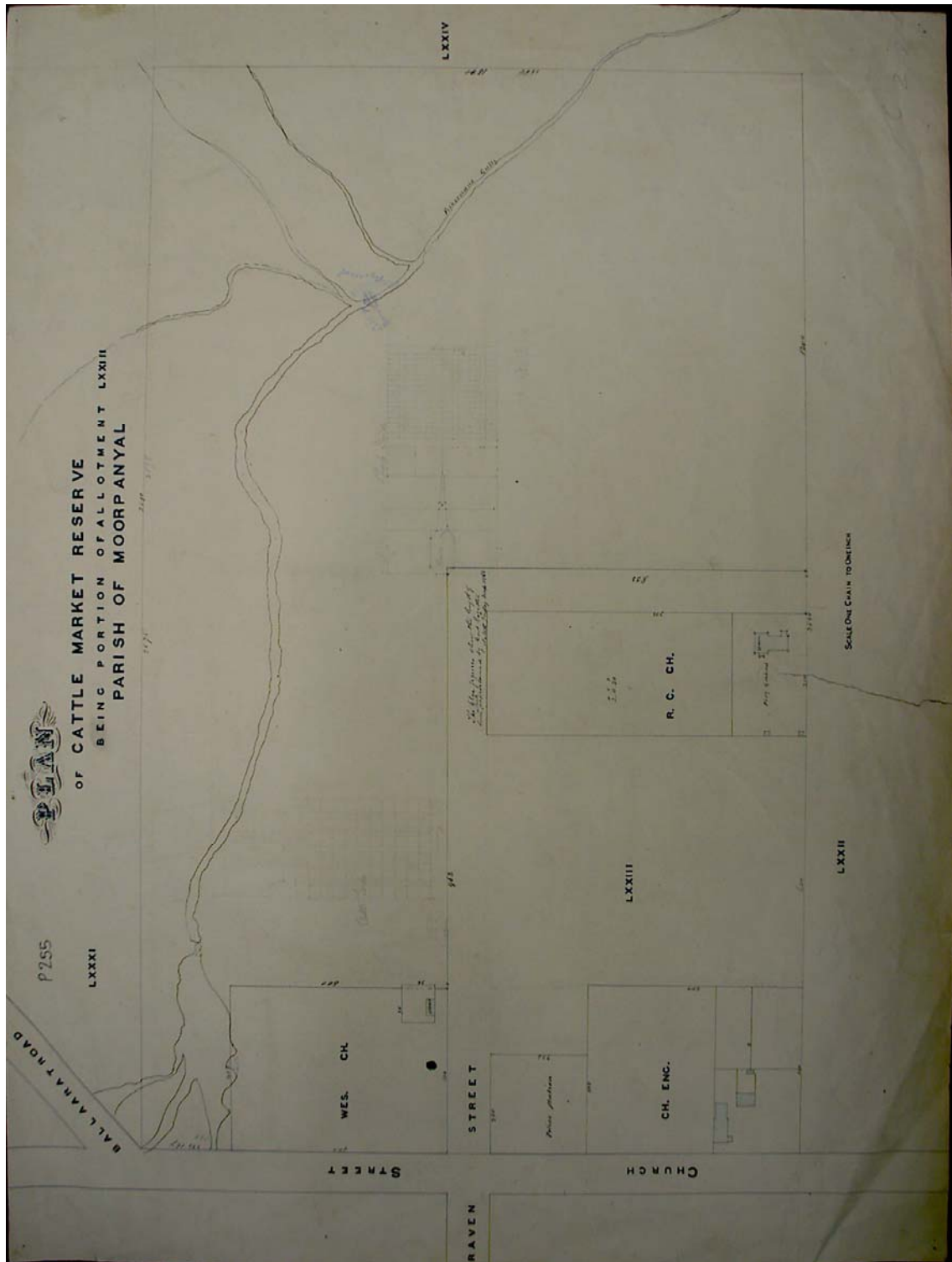


Figure 2.04: Balding, Plan of Cattle Market Reserve, January 1869. Source: Geelong Council Plans collection, P255, Geelong Heritage Centre.

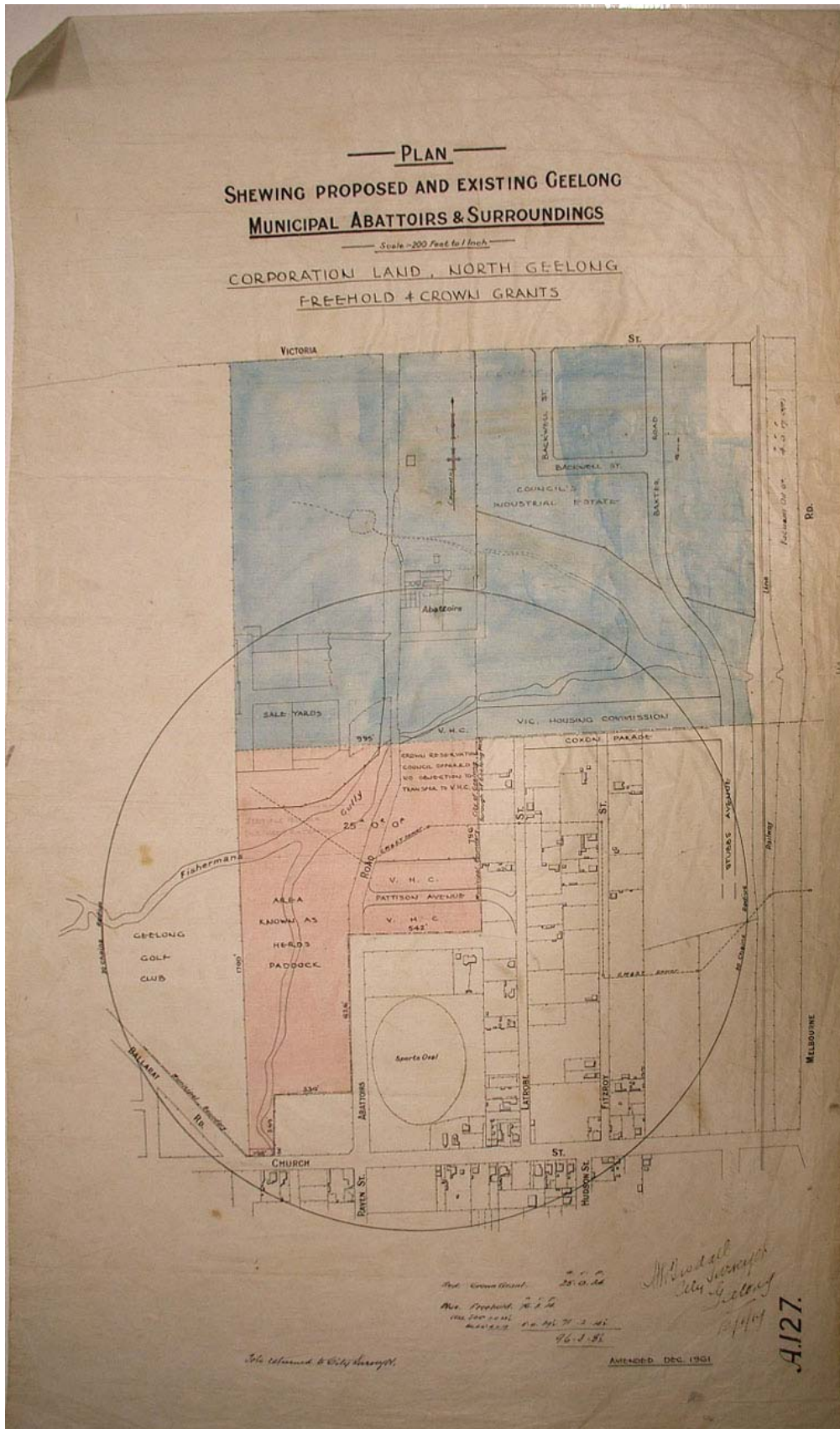


Figure 2.05: Plan showing Proposed & Existing Municipal Abattoirs & Surroundings, 13 January 1919. Note the outline of the Geelong Sale Yards (shaded red and blue) and Herd's Paddock (shaded red). Source: Geelong Council Plans collection A127, Geelong Heritage Centre.

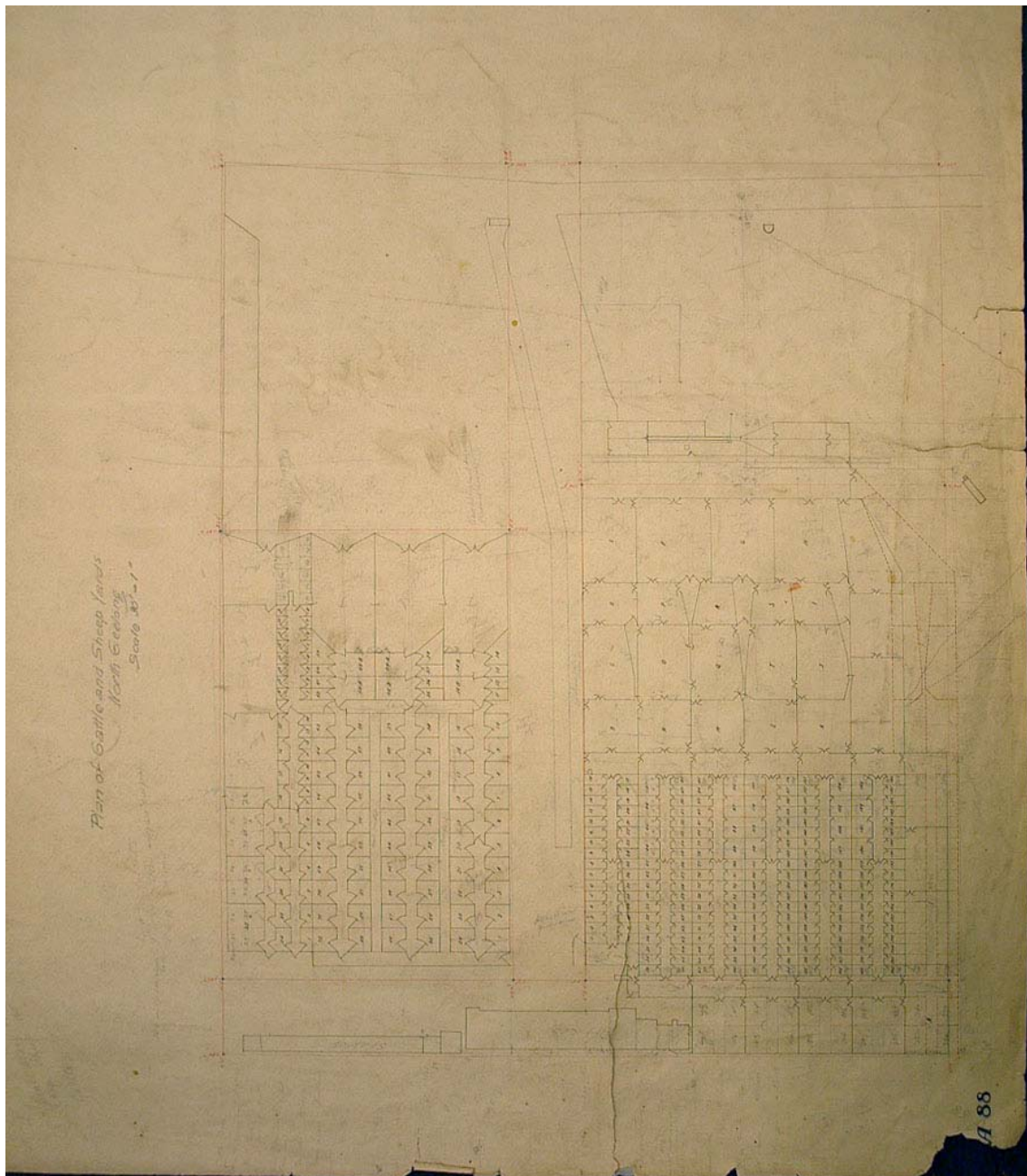


Figure 2.06: Plan of Cattle & Sheep Yards, North Geelong, and alterations, c.1914. Source: Geelong Council Plans collection, A88, Geelong Heritage Centre.

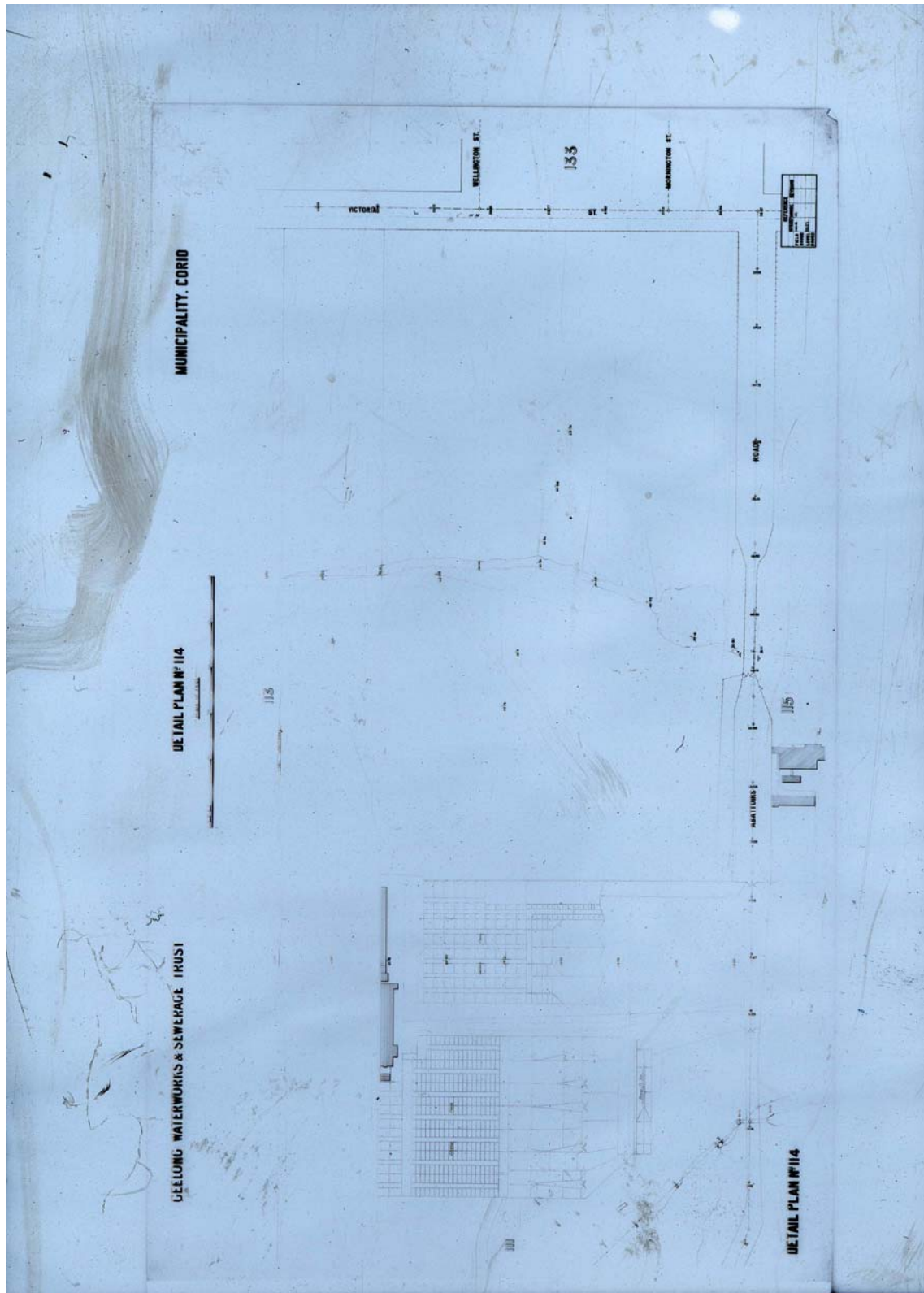


Figure 2.06a: Geelong Waterworks & Sewerage Plan No. 114 of the Geelong Sale Yards, c.1914, reproduced in c.1960. Source: Barwon Water, Geelong.

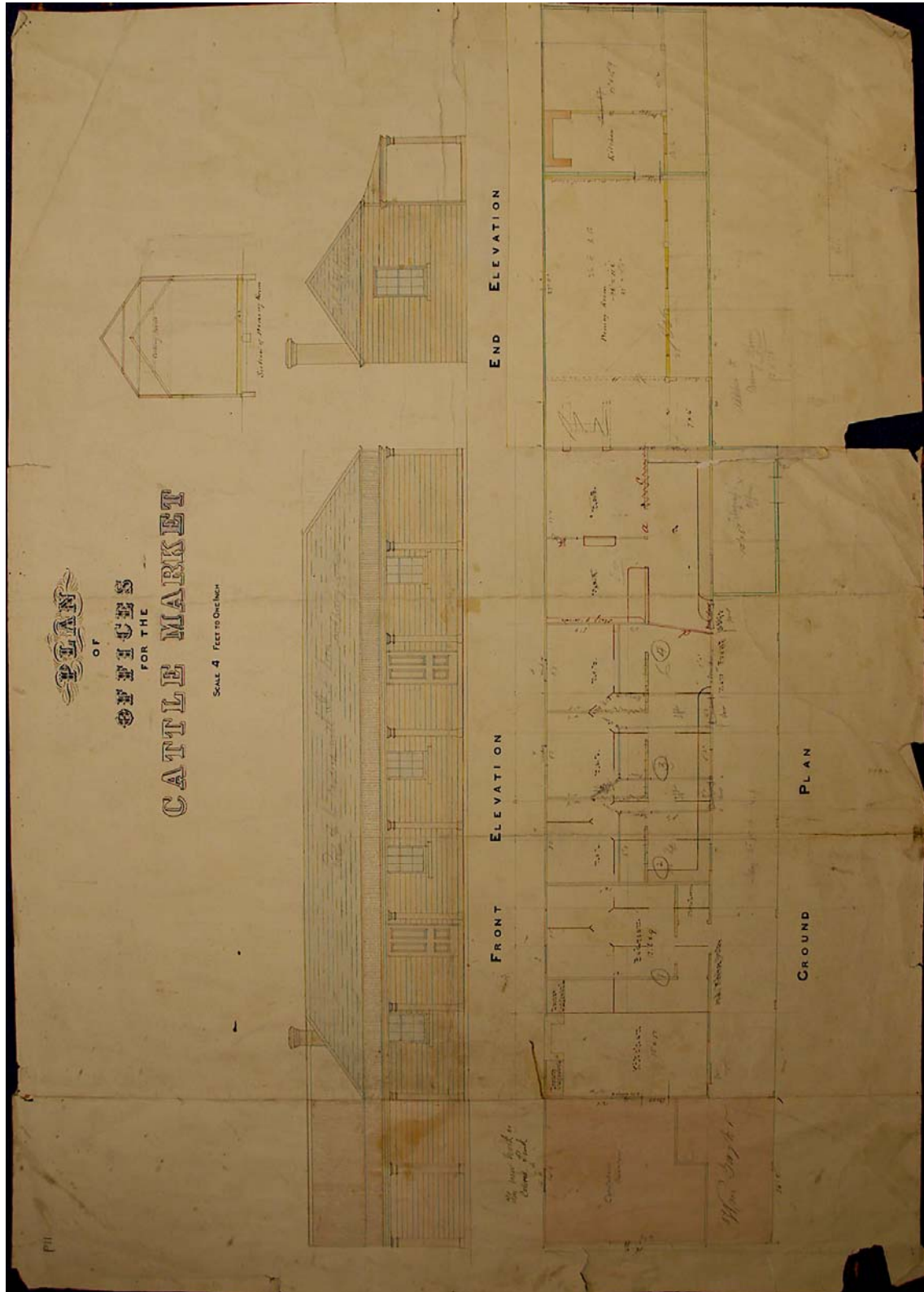


Figure 2.08: Plan of Offices for the Cattle Market, c.1869. Note the various later amendments to the drawing relating to subsequent proposed alterations and additions to the building. Source: Geelong Council Plans collection, P11, Geelong Heritage Centre.

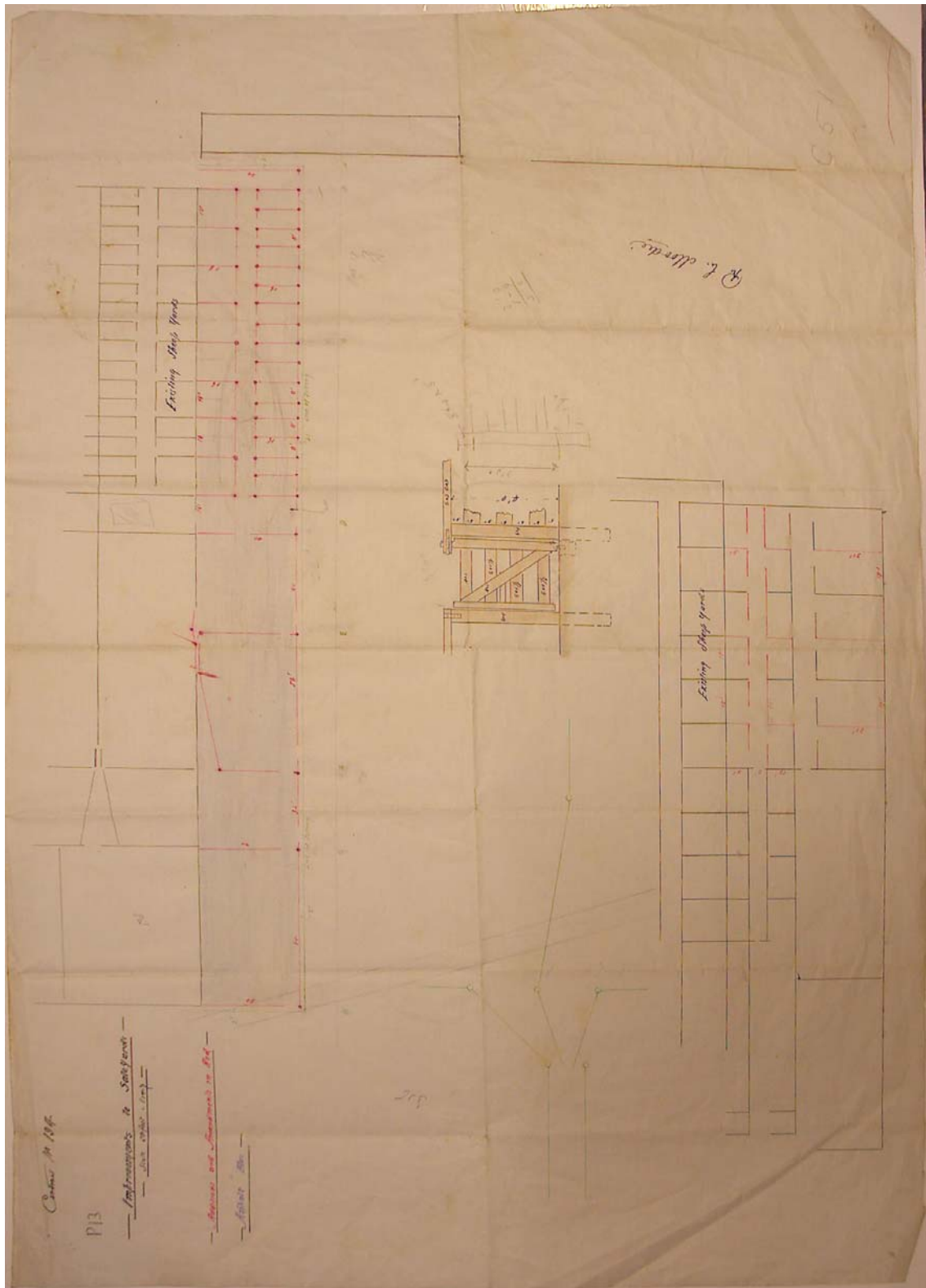


Figure 2.09: Plan showing proposed alterations & additions to the sheep yards, 1910. Source: Geelong Council Plans collection, P13, Geelong Heritage Centre.

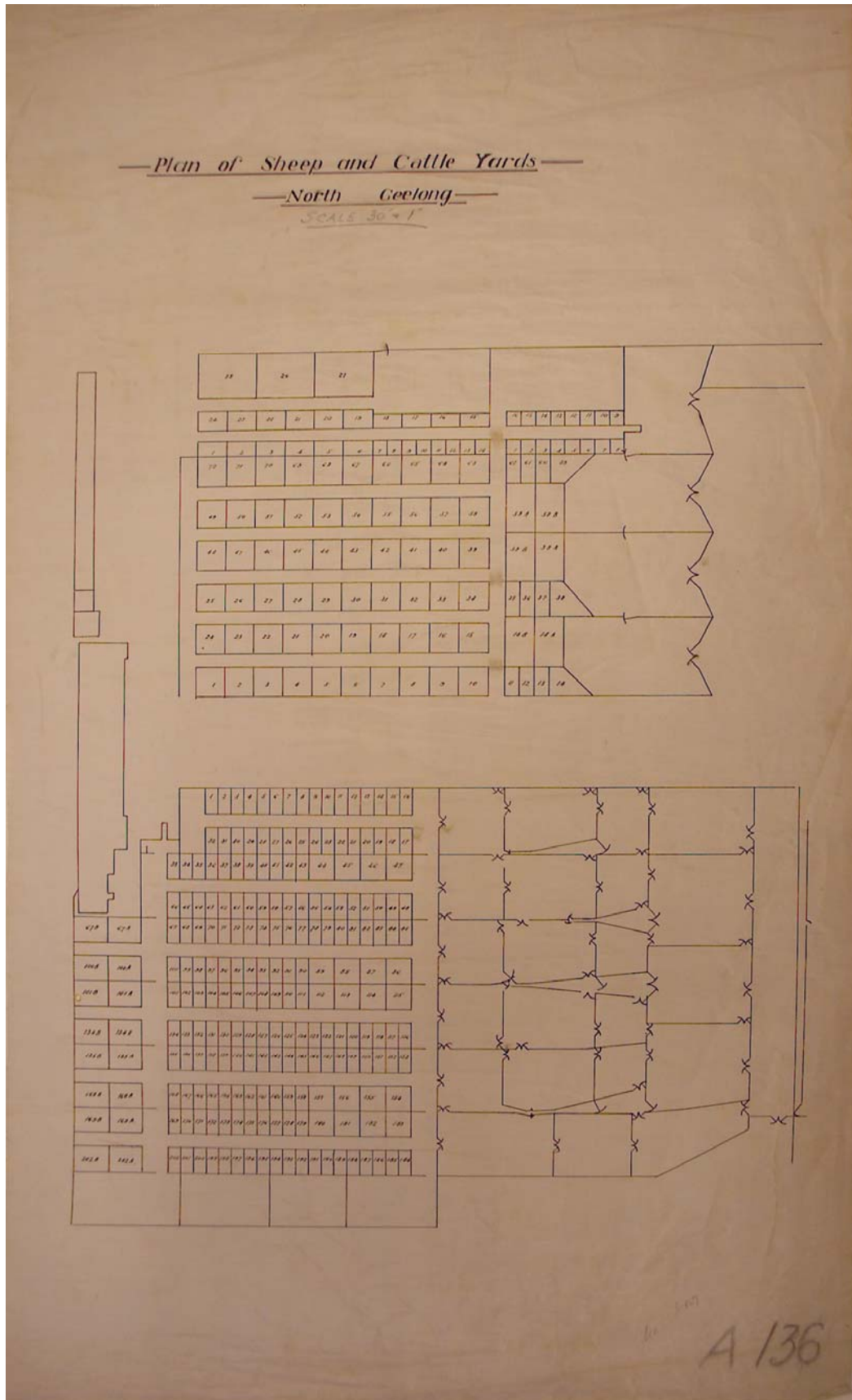


Figure 2.10: Plan of cattle and sheep yards at the Geelong Sale Yards, c.1919. Source: Geelong Council Plans collection, A136, Geelong Heritage Centre.

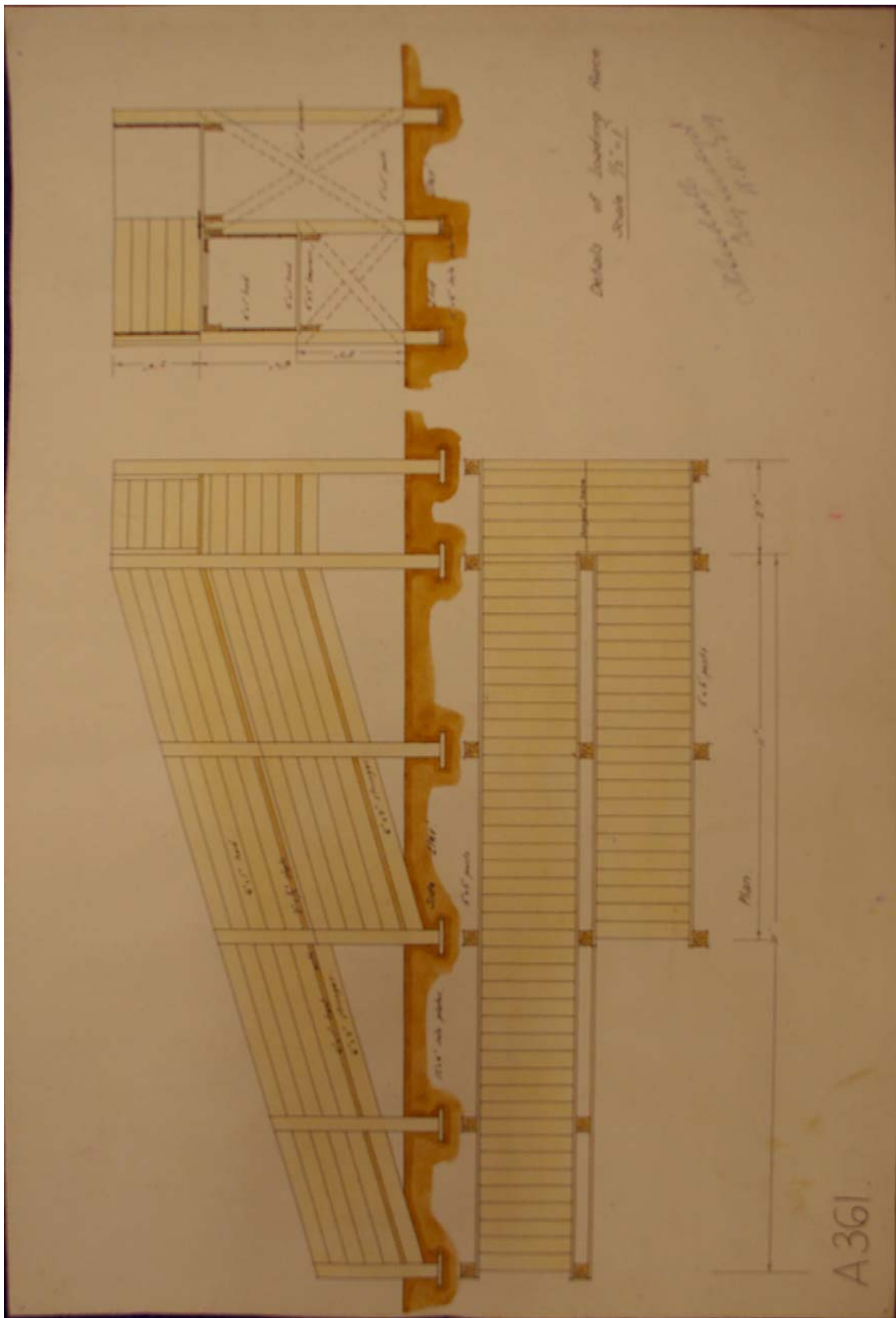


Figure 2.11: Plan showing details of Loading Race, 18 October 1929 (location not known). Source: Geelong Council Plans collection, A361, Geelong Heritage Centre.

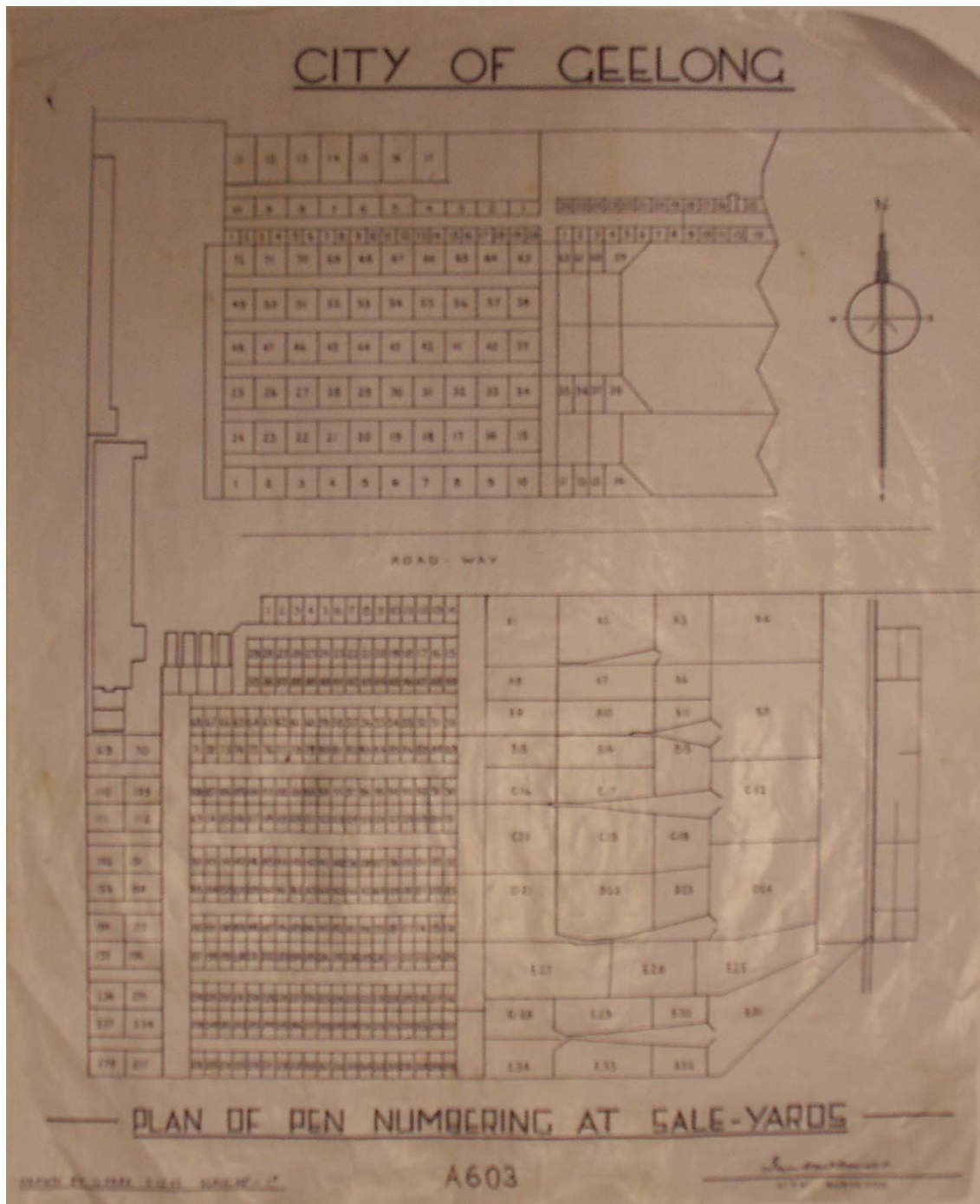


Figure 2.12: Plan of Pen-Numbering at the Geelong Sale Yards, 11 December 1942. Source: Geelong Council Plans collection, A603, Geelong Heritage Centre.

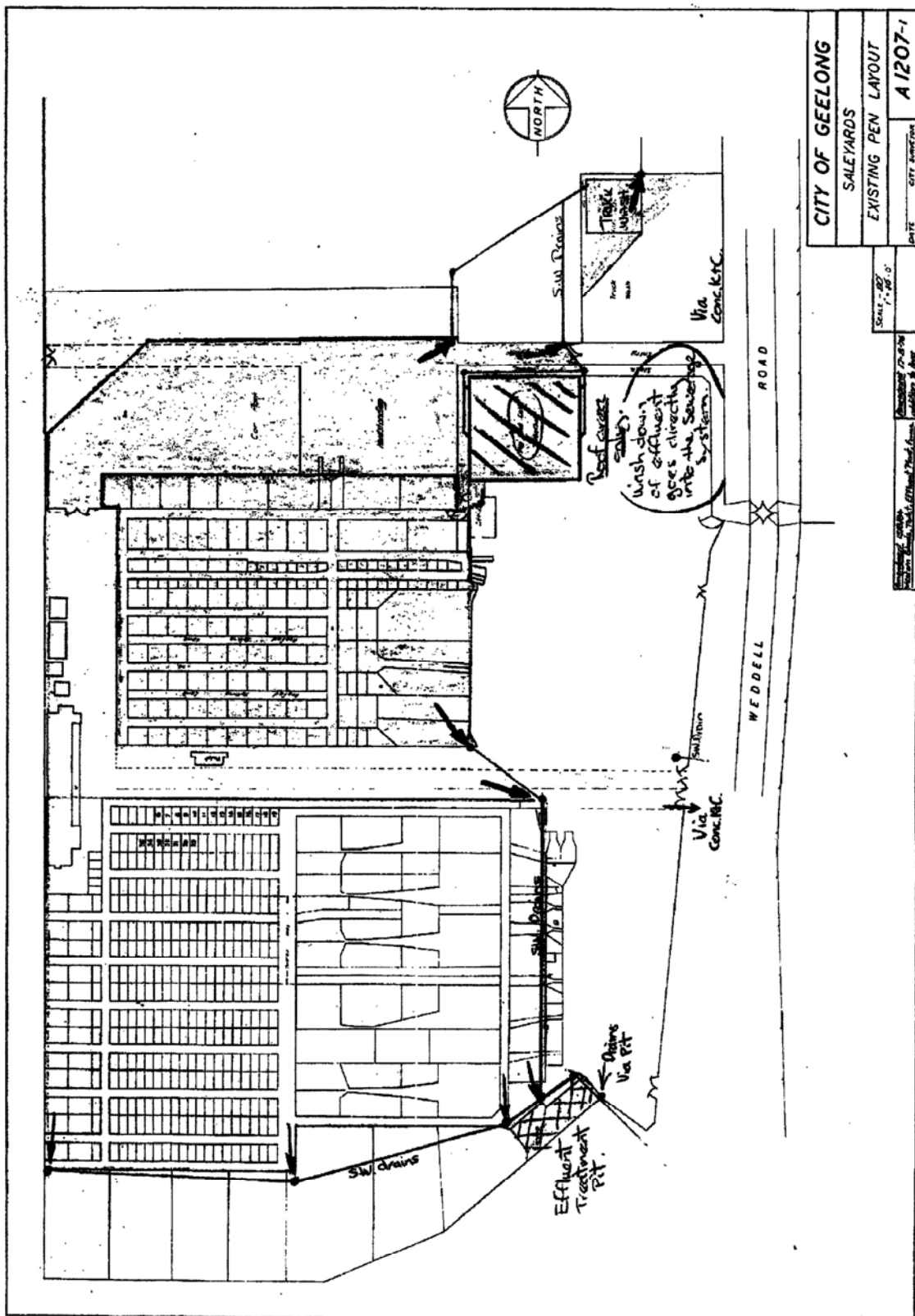


Figure 2.14: Geelong Sale Yards – plan of existing pen layout (showing extent of extant pig pen), 17 August 1976. Source: Barwon Water, Drawing A1201-1, Geelong.

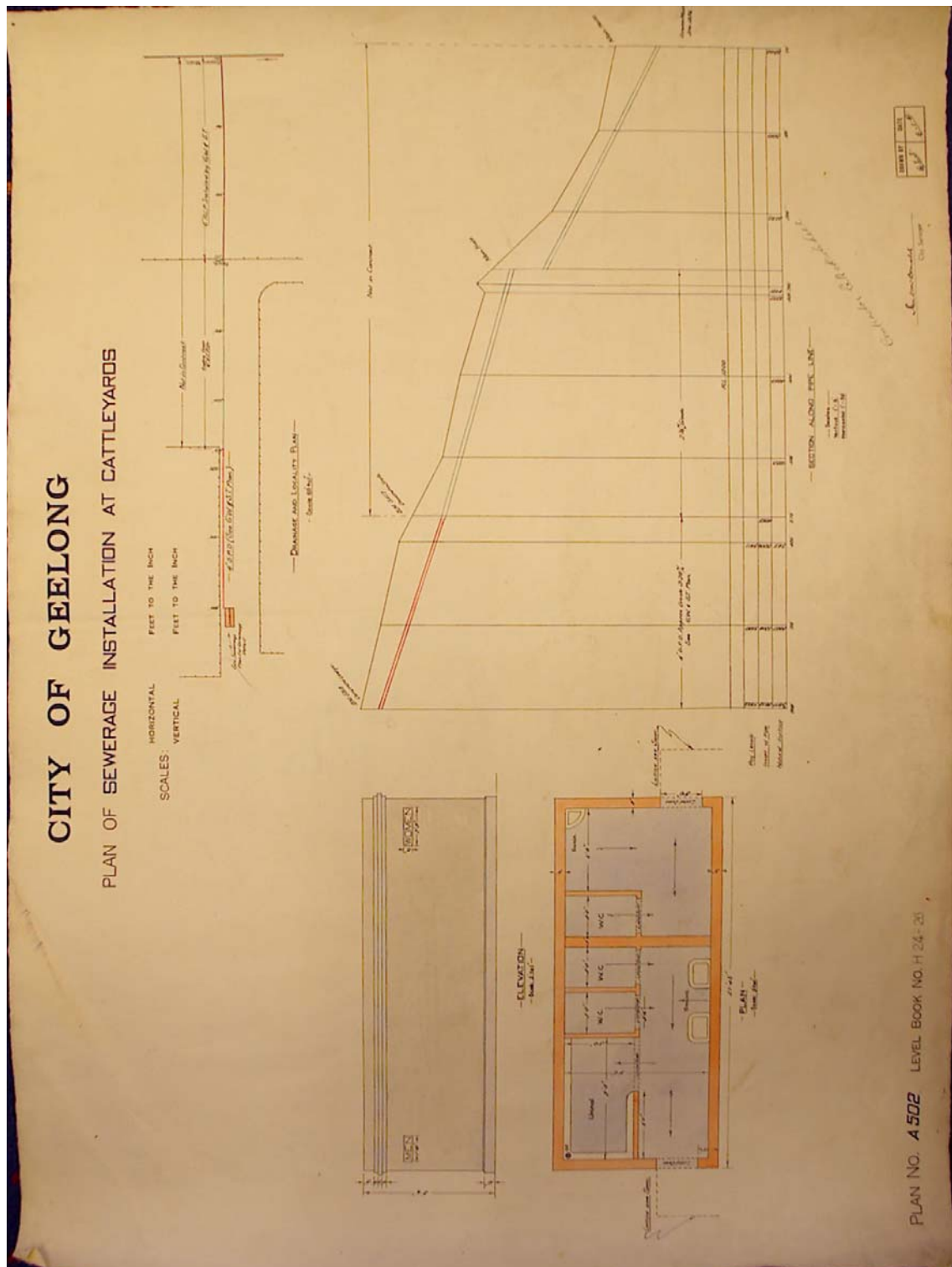


Figure: 2.15: Plan of Sewerage Installation of Cattle Yards, showing new toilet block, 6 January 1941. Source: Geelong Council Plans collection, A502, Geelong Heritage Centre.



Figure 2.16: Richardson's "The Exchange" building, Little Malop Street, Geelong, c.1900. Source: D. Rowe, 'Architecture of Geelong: 1860-1900', B.Arch. Thesis, Deakin University, 1991.



Figure 2.17: H.F. Richardson, c.1900. Source: La Trobe Picture Collection, State Library of Victoria, image no. mp013612.

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NEWS OF THE WEEK.

FEBRUARY 12th, 1913.

GEEELONG CATTLE YARDS.

J. Lockwood photo.



Figure 2.18: Mr Toyne and the auctioneers at the Geelong Sale Yards, 1913. Source: News of the Week, 12 February 1913, Geelong Heritage Centre.



Figure 2.19: Toyne Bros. & Walsh Offices, Malop Street, Geelong, c.1920. Source: La Trobe Picture Collection, State Library of Victoria, image no. b27005.



Figure 2.20: Elder, Smith & Co. Limited, Stock Department building, Malop Street (former Toyne Bros. & Walsh building), c.1979. Source: Lorraine Huddle collection.



Figure 2.21: Retired farmers (producers) in the Refreshment Room at the Geelong Sale Yards, 2007. From left to right: Laurie Ferry, Bill Carew, Jamie Anderson & Ivan Zaparenkov. Source: Susie Zada.

8.03 Contemporary Photographs



Photo 3.01: Aerial Image, Geelong Sale Yards, December 2005. Source: City of Greater Geelong.



Photo 3.02: Market Office building, north & east elevations.



Photo 3.03: Former Latrines Shed, north & east elevations.



Photo 3.04: Introduced 20th century sheds.



Photo 3.05: Former Gate Keeper's Cottage, north & east elevations.



Photo 3.06: Pig Market Building & Office Building, south elevation.



Photo 3.07: Cattle Yard, south-east corner.



Photo 3.08: Detail of cattle pen no. 2. Note early timber posts & rails, & bluestone paving. Also note the introduced steel supporting post (right), being a recycled tram track.



Photo 3.09: Detail of cattle pen no. 2 showing early square timber posts with narrow vertical slots taking the timber rails.



Photo 3.10: Detail of cattle pen no. 47. This pen is substantially intact, with early timber posts & rails & gate, & bluestone paving.



Photo 3.11: Detail of cattle pen no. 43. This pen is also substantially intact.



Photo 3.12: Detail of cattle pen no. 14. This pen is substantially intact. Note the early timber plank walks.



Photo 3.13: Cattle yard fence detail showing introduced steel posts (former tram track) with horizontal timber rails bolted to it. The steel gates have also been introduced.



Photo 3.14: Cattle yard fence detail showing introduced steel posts (former tram tracks) and horizontal timber rails.



Photo 3.15: View of cattle pen showing bluestone paving, introduced steel posts (former tram tracks) and horizontal timber rails, together with introduced steel gates.



Photo 3.16: View of cattle pens showing introduced steel posts (former tram tracks), horizontal timber rails & steel gates. Note the early bluestone paving & the elevated introduced steel walk.



Photo 3.17: Detail of early timber post & rail pen fence. Note the rotting (needling) base of the post and weathered condition of the rails.



Photo 3.18: Detail of timber post & rail fence and post barrier at the eastern end of the northern covered walkway.



Photo 3.19: Detail of introduced round hollow steel posts and timber rail pen fence.



Photo 3.20: Detail of internal walkway showing central invert drain. The fibrous concrete paving has been introduced.



Photo 3.21: Detail of internal way showing invert drain. The concrete slurry over the bluestone has been introduced. Note the cracking and breaking down of the concrete.



Photo 3.22: Detail of covered walkway looking east.



Photo 3.23: Detail of covered way looking west.



Photo 3.24: Detail of rotted subfloor structure of covered walkway.



Photo 3.25: Detail of hole in floor of covered walkway, indicating structural breakdown of the timber subfloor structure and timber floor boards.



Photo 3.26: Detail of rotted base of timber post.



Photo 3.27: Detail of introduced steel stirrup gate post.



Photo 3.28: Detail of early bluestone paving with introduced concrete slurry over.



Photo 3.29: Detail of early bluestone paving with introduced concrete slurry over. Note the cracks in the concrete.



Photo 3.30: Detail of introduced concrete trough in cattle pen.



Photo 3.31: View of sheep yard fencing, north-west corner. Note the early timber posts & rails, & the introduced steel gates.



Photo 3.32: View of sheep yard looking south (from near the north-west corner). Note the introduced steel fencing and gates.



Photo 3.33: Detail of introduced hollow steel posts and horizontal timber rails to sheep pens.



Photo 3.34: Detail of early timber posts with introduced timber rails bolts to the sides of the posts. These rails have replaced the original rails that were set in the vertical slots of the posts.



Photo 3.35: Detail of early timber post and rail fencing, near the north-east corner.



Photo 3.36: Overview of sheep pens showing introduced steel posts (former tram tracks) and horizontal timber rails.



Photo 3.37: Detail of introduced steel posts (former tram tracks) and horizontal timber rails.



Photo 3.38: View of dilapidated, unused sheep pens and walk, south area.



Photo 3.39: View south of sheep pens shaded by a row of mature Ash trees in the south-western portion of the site.



Photo 3.40: View looking south from the central thoroughfare to the gabled open shed in the sheep yard.



Photo 3.41: View of the interior of the open shed in the sheep yard.



Photo 3.42: East elevation of the open shed in the sheep yard.



Photo 3.43: View of early bluestone paving (forming a spoon drain) and later concrete slurry finish in an internal walkway of the sheep yard.



Photo 3.44: Detail of early bluestone spoon drain to the south of the open shed in the sheep yard.



Photo 3.45: Ramp detail (sheep yard). This ramp has been introduced.



Photo 3.46: Ramp detail (sheep yard). The timber posts are early, but the metal panels and timber and bluestone retaining walls have been introduced.



Photo 3.47: Ramp detail (sheep yard). This ramp has been introduced.



Photo 3.48: Ramp detail (sheep yard). This ramp has been introduced.



Photo 3.49: Ramp detail (cattle yard). This ramp appears to be early, with timber posts and rails and ramped timber floor.



Photo 3.50: Detail of early timber ramp (cattle yard) showing sloped timber floor with raised battens. The floor has been reconstructed.



Photo 3.51: Detail of early timber ramp (cattle yard) showing timber posts and rails.



Photo 3.52: Detail of early (altered) ramp (cattle yard). Note the introduced steel posts (former tram tracks), timber rails and introduced bluestone base.



Photo 3.53: Market Offices building, east elevation, from the central thoroughfare.



Photo 3.54: Market Offices building, east elevation (central and northern portions).



Photo 3.55: Market Offices building, east elevation (central and southern portions).



Photo 3.56: Market Offices building, east & south elevations (southern kitchen portion).

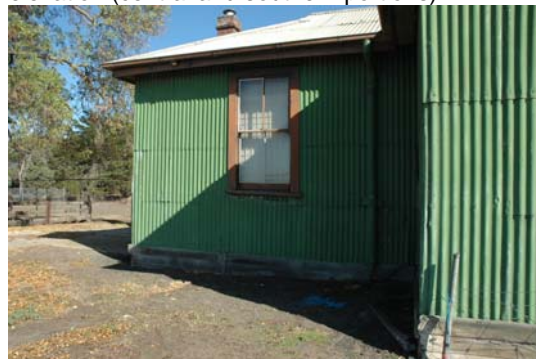


Photo 3.57: Market Offices building, east elevation (southern kitchen portion).



Photo 3.58: Market Offices building, east elevation. Window detail (southern-most window).



Photo 3.59: Market Offices building, south elevation. Detail of rotted timber base boards.



Photo 3.60: Market Offices building, east elevation. Detail of projecting hipped wing on the southern portion.



Photo 3.61: Market Offices building, east elevation. Detail of junction of hipped window and main traversing roof. Note the completely rusted gutters on the projecting hipped wing.



Photo 3.62: Market Offices building, east elevation. Refreshment Room door detail (north face under verandah).



Photo 3.63: Market Offices building, east elevation. Window details (southern-most windows under verandah).



Photo 3.64: Market Offices building, east elevation. Detail of double door opening to Bar Room.



Photo 3.65: Market Offices building, east elevation. Office window and door detail (under verandah).



Photo 3.66: Market Offices building, east elevation. Office window and door detail (under verandah).



Photo 3.67: Market Offices building, east elevation. Office window and door detail (under verandah).



Photo 3.68: Market Offices building, east elevation. Office window and door detail (under verandah).



Photo 3.69: Market Offices building, east elevation. Office window and door detail (under verandah).



Photo 3.70: Market Offices building, east elevation. Office window and door detail (under verandah).

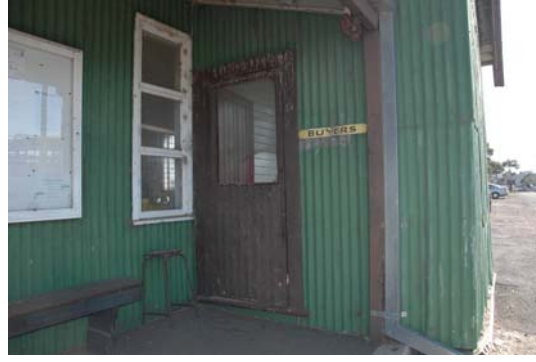


Photo 3.71: Market Offices building (east elevation. Detail of introduced three paned timber framed window of lunch room and early timber door to the office (south face).



Photo 3.72: Market Offices building, east elevation. Detail of projecting office gable (north end of building).



Photo 3.73: Market Offices building, north elevation.



Photo 3.74: Market Offices building, south elevation.



Photo 3.75: Market Offices building, west elevation. Note bowed wall and overhanging tree in the distance.



Photo 3.76: Market Offices building, east elevation. Detail of rotted timber baseboard on projecting northern office gable.



Photo 3.77: Market Offices building, east elevation. Detail of introduced elevated asphalt verandah floor and concrete steps.



Photo 3.78: Market Offices building, east elevation. Verandah post detail. Note the peeled paint and weathering.



Photo 3.79: Market Offices building, east elevation (south face of projecting northern office gable). Detail of introduced downpipe not connected to sealed drainage.



Photo 3.80: Market Offices building, east elevation. Detail of gap between the asphalt verandah floor and the wall base.



Photo 3.81: Interior, H.F. Richardson office, looking west. Note the early stained timber v-jointed ceiling and walls.



Photo 3.82: Interior, H.F. Richardson office. Note the v-jointed timber ceiling and the built-in sales bench.



Photo 3.83: Interior, H.F. Richardson office. Detail of north wall showing blocked up door opening.



Photo 3.84: Interior, H.F. Richardson office. View looking east showing v-jointed timber ceiling and walls. Also note the early ceiling flue.



Photo 3.85: Interior, H.F. Richardson office. Detail of timber scotia mould ceiling cornice.



Photo 3.86: Interior, H.F. Richardson office. Detail of early timber sales bench.



Photo 3.87: Interior, H.F. Richardson office. Detail of inner side of early timber sales bench showing the shelving.



Photo 3.88: Interior, H.F. Richardson office. Detail of early timber shelving on north wall.



Photo 3.89: Interior, H.F. Richardson office. Internal door detail.



Photo 3.90: Interior, H.F. Richardson office. Detail of early door, wall and pew in rear office.



Photo 3.91: Interior, H.F. Richardson office. Window detail, rear office.



Photo 3.92: Interior, Bar Room, looking north.



Photo 3.93: Interior, Bar Room, looking south.



Photo 3.94: Interior, Bar Room, looking east.



Photo 3.95: Interior, Bar Room, looking west.



Photo 3.96: Interior, Bar Room. Detail of introduced flush panel timber door (east wall).



Photo 3.97: Interior, Bar Room. Window detail (east wall, north end).



Photo 3.98: Interior, Bar Room. Detail of double door opening and v-jointed timber doors (east wall).



Photo 3.99: Interior, Refreshment Room, looking south-west.



Photo 3.100: Interior, Refreshment Room, looking south.



Photo 3.101: Interior, Refreshment Room, looking north.



Photo 3.102: Interior, Refreshment Room. Detail of north external door opening & introduced flush panel timber door.



Photo 3.103: Interior, Refreshment Room, looking north-east.



Photo 3.104: Interior, Refreshment Room, looking south-east.



Photo 3.105: Interior, Refreshment Room, ceiling detail.



Photo 3.106: Interior, Refreshment Room, ceiling flue detail.



Photo 3.107: Interior, Kitchen, looking south-west from door opening to Refreshment Room.



Photo 3.108: Interior, Kitchen, looking west.



Photo 3.109: Interior, Kitchen, looking north.



Photo 3.110: Interior, Kitchen, looking east.

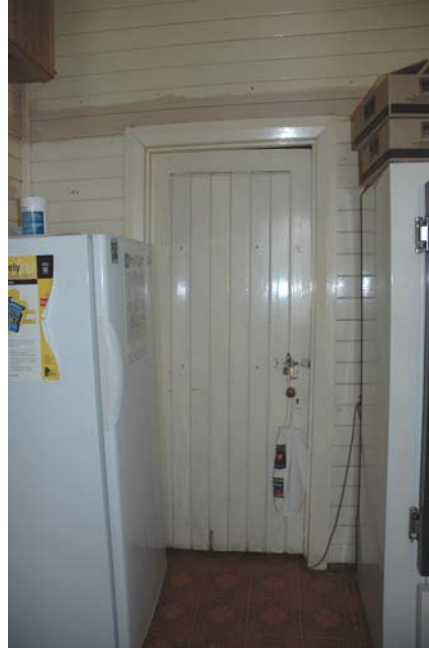


Photo 3.111: Interior, Kitchen. Door detail (east wall).



Photo 3.112: Interior, Kitchen. Door detail (south wall).



Photo 3.113: Interior, Kitchen. Detail of early (but altered) fireplace (south wall) with introduced stove top.



Photo 3.114: Interior, Kitchen. Detail of introduced fireplace and stove (south wall).



Photo 3.115: Interior, Kitchen. Detail of kitchen sink and cupboards, west wall.



Photo 3.116: Interior, Kitchen, looking north-west. Note substantial slope in floor in the unlevel cupboards.



Photo 3.117: Interior, Kitchen. Ceiling detail looking east.



Photo 3.118: Interior, Kitchen. Ceiling detail looking north-west.



Photo 3.119: Interior, Lunch Room, looking east.



Photo 3.120: Interior, Lunch Room, looking north-east.



Photo 3.121: Interior, Lunch Room, looking north.



Photo 3.122: Interior, Lunch Room, looking west.



Photo 3.123: Interior, Staff Bathroom. Detail of introduced shower cubicles.



Photo 3.124: Interior, Staff Bathroom. Door detail (east wall). This door is an original v-jointed door in original location. The staff bathroom was originally a rear office to an agent's office.



Photo 3.125: Former Latrines Shed, east elevation.



Photo 3.126: Former Latrines Shed, south elevation.



Photo 3.127: Former Latrines Shed, north elevation.



Photo 3.128: Interior, former Latrines Shed. Ceiling detail.



Photo 3.129: Interior, former Latrines Shed. View looking south-west.



Photo 3.130: Interior, former Latrines Shed. View looking south showing early timber lattice wall screens with ripple iron cladding below.



Photo 3.131: Interior, former Latrines Shed. View of north wall showing early ripple iron cladding with early timber lattice screen above.



Photo 3.132: Former Caretaker's Cottage, north elevation.



Photo 3.133: Former Caretaker's Cottage, south elevation.



Photo 3.134: Former Caretaker's Cottage, east elevation.



Photo 3.135: Former Caretaker's Cottage, west elevation.



Photo 3.136: Former Caretaker's Cottage, south elevation. Detail of rotted bases to timber doors and introduced corrugated sheet metal cladding on eastern door base.



Photo 3.137: Former Caretaker's Cottage, south elevation. Detail of rotted and missing timber weatherboards west of door opening.



Photo 3.138: Interior, former Caretaker's Cottage. Wall detail.



Photo 3.139: Interior, former Caretaker's Cottage. Door detail.



Photo 3.140: Toilet block, south elevation.



Photo 3.141: Toilet block, east elevation.



Photo 3.142: Toilet block, west elevation.

8.04 Comparative Analysis Figures

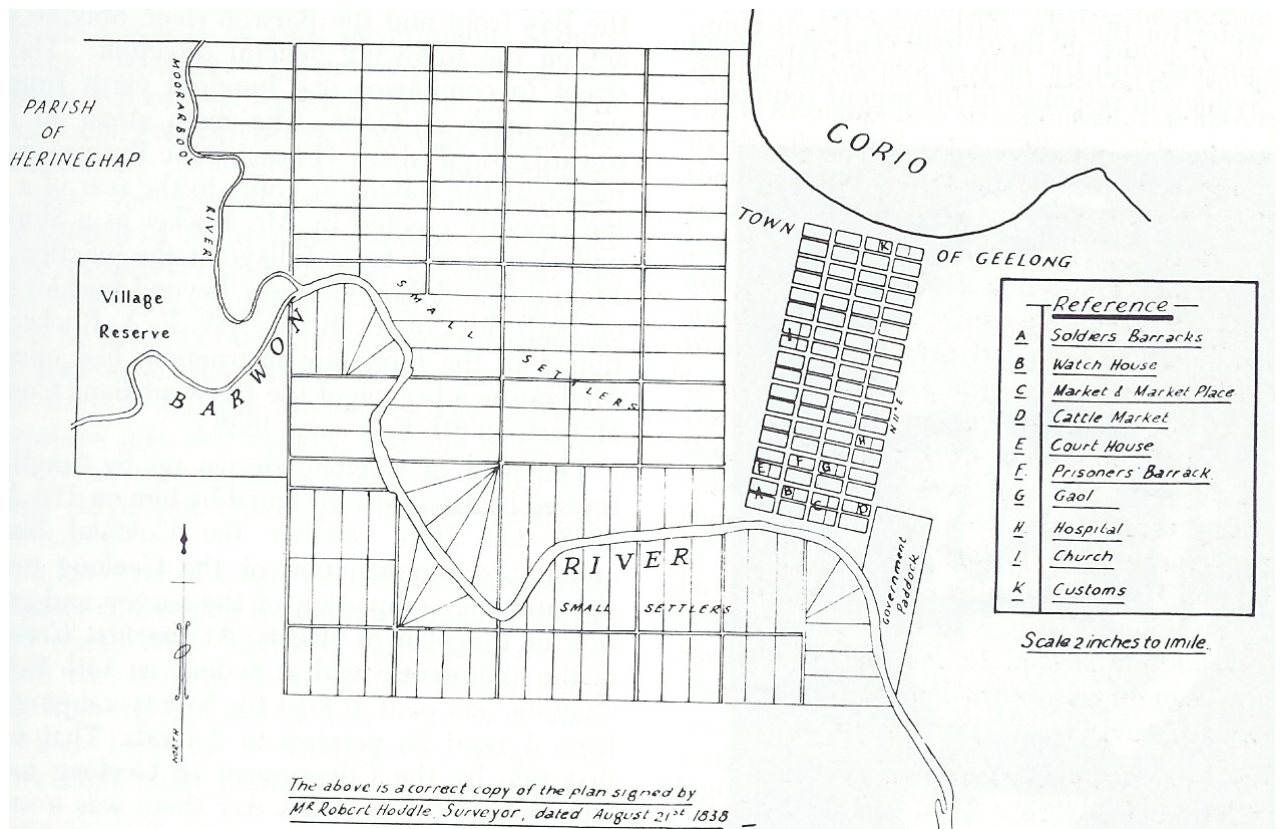


Figure 4.01: R. Hoddle & H.W. H. Smythe, First Survey Plan of Geelong, 21 August 1838. Note the reference 'D' indicating the proposed location of the cattle market. Source: Brownhill & Wynd, *History of Geelong & Corio Bay With Postscript*, p.11.

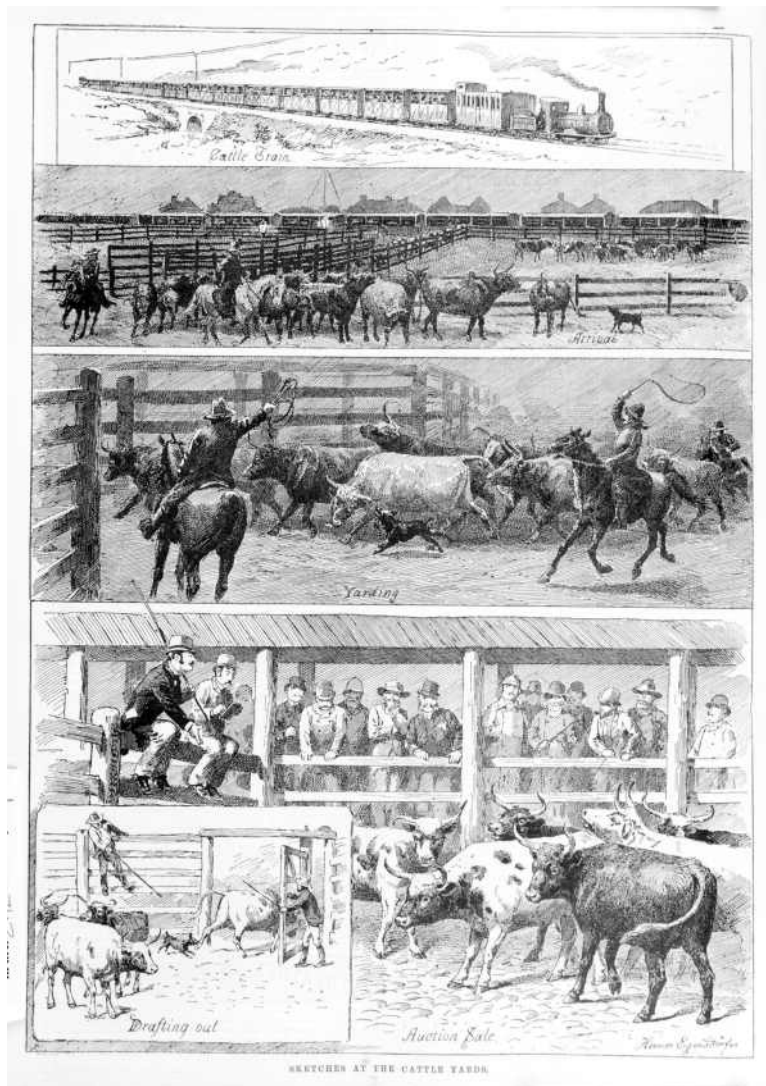


Figure 4.02: Heiner Egersdorfer, Sketches at the Cattle Yards (probably the Newmarket Yards, Kensington), in the Illustrated Australian News, 2 December 1889. Source: La Trobe Picture collection, State Library of Victoria, image no. mp005779.

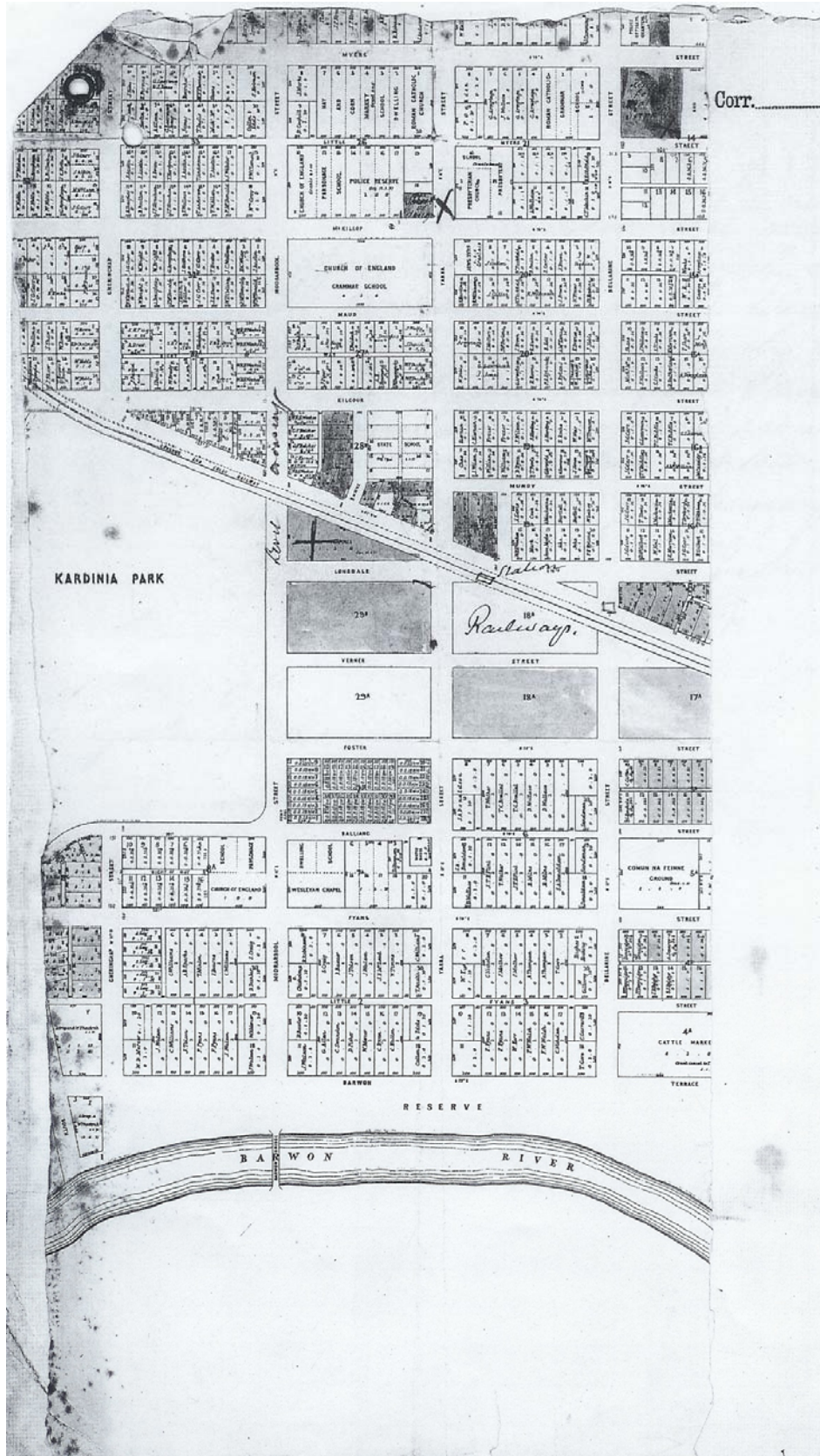


Figure 4.03: Map of Geelong, 1886. The first municipal cattle market is shown in the lower right hand corner. The centre allotments also show the location of the Hay and Corn Market fronting Myers Street. Source: Memorandum stamped 4170 [n.d., no author] in DSE file, Rs4579, Geelong.



Figure 4.04: Former Administration Office building at the former Newmarket Sale Yards, May 1998. Source: Victorian Heritage Register online, H1430, June 2007.



Figure 4.05: Surviving pens at the former Newmarket Sale Yards, 2002. Source: www.enet.org.au/historyonline/saleyards/newmarketsaleyards.htm.



Figure 4.06: Newmarket Sale Yards in 1875, showing rectangular arrangement of cattle pens, timber post and rail fences and gates, the narrow covered elevated walkways. Source: La Trobe Picture collection, State Library of Victoria, image no. a53217.



Figure 4.07: Detail of pens at the Ballarat Sale Yards, 2007. Source: Wendy Jacobs.



Figure 4.08: Detail of pens at the Ballarat Sale Yards, 2007. Source: Wendy Jacobs.



Figure 4.09: Detail of pens at the Ballarat Sale Yards, 2007. Source: Wendy Jacobs.



Figure 4.10: Market Offices building, Ballarat Sale Yards, 2007. Source: Wendy Jacobs.



Figure 4.11: Covered yards, Ballarat Sale Yards, 2007. Source: Wendy Jacobs.

8.05 Building Schedules

APPENDIX 8.05

BUILDING SCHEDULES

The following Building Schedules form the detailed physical analysis as part of Section 2 in Part 1: Conservation Analysis in the main Report.

These Schedules should be cross-referenced to the Drawings and contemporary photographs which are provided as Appendices 8.01 & 8.03. The historical figures are provided as Appendix 8.02.

1.0 Cattle Yards (Photos 3.07-3.30)

Conservation Issues

Specific conservation issues identified from the site inspections revealed the following:

- Substantially weathered timber posts and rails to pen fencing.
- Rotted bases (needling) to timber pen posts.
- Some rotted timber rails.
- Rotted timber walk planks.
- Rotted timber posts and subfloor structure to covered walkways.
- Rusted galvanised corrugated steel roof cladding to covered walkways.
- Rotted timber rails to covered walkway.
- Cracked and broken down concrete slurry to bluestone pen paving. The concrete surface is breaking down due to the abrasive nature of the livestock and the frequent cleaning.
- Broken down introduced asphalt finish to covered walkways (hole in the floor of one walkway, which is a trip hazard). The timber floor boards under the asphalt have rotted.
- Overly large concrete troughs in pens. The troughs are also too low. These troughs become contaminated with cattle effluent as a result.
- Weathered timber gates.

2.0 Sheep Yards (Photos 3.31-3.44)

Conservation Issues

Specific conservation issues identified from the site inspections revealed the following:

- Substantially weathered timber posts and rails to pen fencing.
- Rotted bases to timber posts (needling of posts).
- Broken down concrete slurry to bluestone paving.
- Dilapidated sheep pens and yards to the south of the main pens, with rotted timber posts and rails, and rusted steel gates.

3.0 Ramps (Photos 3.45-3.52)

Conservation Issues

Specific conservation issues identified from the site inspections revealed the following:

- Movement, cracking and breakdown of introduced bluestone wall bases to ramps and adjacent retaining walls.
- Substantially weathered timber posts and rails.

4.0 Market Offices Building (Photos 3.53-3.124)

4.1 Exterior

Conservation Issues

Specific conservation issues identified from the site inspections revealed the following:

General Issues

- Rusted galvanised corrugated steel roof cladding.
- Loose nails to roof cladding.
- Debris build up in roof valleys and gutters.
- Rusted galvanised steel roof cappings and flashings.
- Evidence of substantial movement in roofs and walls, particularly towards the southern end.
- Downpipes not connected to sealed drainage.
- Introduced zincalume quad gutters.
- Rusted gutters (particularly the southern end).
- Weathered timber fascias.

East (Front) Elevation (Photos 3.53-3.58, 3.603.72, 3.76-3.80)

- Weathered timber bargeboards to northern gable end and to the southern wing.
- Rotted and loose timber baseboards to northern gable end and southern wing.
- Blocked up window opening – northern gable end.
- Introduced raised asphalt verandah floor with two concrete steps (no allowance for subfloor ventilation into building).
- Deteriorated fly wire in door (south face of northern gable end – under verandah).
- Weathered square timber verandah posts.
- V-jointed vertical boarded timber doors have dropped.
- Substantially warped timber window frames. The window frames and sashes in the southern end have rotted.
- Rotted timber window sills (southern end).
- Weathered timber verandah fascia.
- Substantially weathered timber window frames and sashes under verandah.
- Weathered timber doors under verandah.
- Cracked verandah asphalt floor. Also there is an opening at the junction of the floor and the wall base that has created a channel and therefore an opportunity for water to pond.
- Door under verandah (with quarantine sign affixed) has been damaged by vandals as evidenced in the split timber boards. It has been temporarily repaired with staples.

North Elevation (Photo 3.73)

- Weathered timber bargeboards and louvres to end of gambrel roof.
- Introduced aluminium framed window.
- Rotted timber window sill and sashes to window frames and lower sash (weathered elsewhere) to east timber window.
- Ground levels slopes downwards towards building base.
- Introduced skillion porch.

South Elevation (Photos 3.56, 3.59, 3.74)

- Weathered timber bargeboards and louvres to end of gambrel roof.
- Patched brickwork and introduced cream brickwork addition to chimney base.
- Mortar breakdown in chimney base due to rising damp.
- Loose bricks in chimney base.
- Cracked render to chimney.
- Bird effluent and nesting in eaves.
- Warped timber framed door opening.
- Introduced downpipes not connected to sealed drainage.
- Recent [?] brick open spoon drain.
- Concrete floor base to the south of the building represents the previous location of the former Latrines Shed.

West Elevation (Rear) (Photos 3.75)

- Substantial movement in walls and roofs (apparent structural breakdown in the southern portion of the roof and floor structure).
- Rotted, loose and warped timber window frames, sashes and sills.
- Broken glass to some windows.
- Tree overhanging on roof causing roof damage.
- Downpipes not connected to sealed drainage.

4.2 Interior: Market Offices Building

- 4.2.1 **Stock & Station Agents' Offices** are predominantly characterised by the following construction and detailing (based on detailed inspection of the H.F. Richardson office)

Sales Offices (Photos 3.81-3.88):

- Original (1913) coved, v-jointed stained timber lining board ceilings.
- Original (1913) timber scotia mould cornices.
- Original (1913) v-jointed stained timber lining board walls.
- Original (1913) angled timber skirtings.
- Original (1913) timber floor boards.
- Original (1913) timber framed four paned double hung windows.
- Original (1913) simple timber window and door architraves.
- Original (1913) v-jointed timber doors with early door furniture.
- Original (1913) timber sale benches (fixed).
- Original (1913) timber in-trays on benches.
- Original (1913) timber shelving for paperwork on walls.
- Original (1913) ceiling flues.

Conservation Comments

- Floor not level and sloping towards interior wall.
- Walls on considerable lean towards the interior wall.
- Evidence of previous falling damp on ceiling (staining on timber lining boards).
- Weathered timber window frames and sashes.
- Blocked up previous door opening (north wall).
- Interior wall on lean.

This space is in fair condition and of **high integrity**. The form, construction and details predominantly represent the original (1913) design qualities.

Rear Offices (Photos 3.89-91)

- Original (1913) coved, v-jointed stained timber lining board ceilings.
- Original (1913) timber scotia mould cornices.
- Original (1913) v-jointed stained timber lining board walls.
- Original (1913) angled timber skirtings.
- Original (1913) timber floor boards.
- Original (1913) timber framed four paned double hung windows.
- Original (1913) simple timber window and door architraves.
- Original (1913) v-jointed timber doors with early door furniture.
- Original (1913) timber writing tables.
- Original (1913) ceiling flues.
- Original (1913) timber bench seats.

Conservation Comments

- Floor not level and sloping towards interior wall.
- Walls on considerable lean towards the interior wall.
- Evidence of previous falling damp on ceiling (staining on timber lining boards).
- Weathered timber window frames and sashes.
- Interior wall on lean.

This space is in fair condition and of **high integrity**. The form, construction and details predominantly represent the original (1913) design qualities.

4.2.2 **Bar Room** is predominantly characterised by the following construction and detailing (Photo 3.92-3.98):

- Original (1913) coved, v-jointed timber lining board ceilings (introduced overpainting).
- Original (1913) timber scotia mould cornices (introduced overpainting).
- Original (1913) v-jointed timber lining board walls (introduced overpainting).
- Introduced plain timber skirtings (introduced overpainting).
- Original (1913) timber floor boards (introduced vinyl covering adjacent to bar counter).
- Original (1913) timber framed four paned fixed windows.
- Original (1913) simple timber window and door architraves.
- V-jointed timber doors with early door furniture (double door opening, east wall) (doors appear to have been relocated).
- Introduced flush panel timber doors (south wall).
- Original (1913) door opening (east wall) with introduced door.
- Introduced fixed bar counter, sinks and basins.

Conservation Comments

- Very substantial leaning of walls and arched and stretched timber floor boards.
- Major warping of window and door openings (openings are not square).
- Warped access hatch (south wall).
- Possum urine on east wall and ceiling.
- Original internal wall removed given the evidence on the ceiling, introduced skirtings and double door opening.

- Blocked up window opening (south wall).
- Windows missing glazing bars.

This space is in poor condition and of **moderate integrity**. There have been some changes to early fabric and spatial layout.

4.2.3 **Refreshment Room** is predominantly characterised by the following construction and detailing (Photos 3.99-3.106):

- Original (1913) coved, v-jointed timber lining board ceilings (introduced overpainting).
- Original (1913) timber scotia mould cornices (introduced overpainting).
- Original (1913) v-jointed timber lining board walls (introduced overpainting).
- Original (1913) angled timber skirtings (introduced overpainting).
- Original (1913) timber floor boards with introduced vinyl over.
- Original (1913) timber framed four paned double hung windows.
- Original (1913) simple timber window and door architraves.
- Introduced flush panel timber doors (north wall).
- Introduced v-jointed wall infill (to original double door opening on north wall).
- Missing door to kitchen (south wall).
- Original (1913) ceiling flues.

Conservation Comments

- Substantially sloping floor – the floor slopes towards to the kitchen door and the east wall.
- Evidence of falling damp in the ceiling boards.
- Major leaning of walls.
- Weathered timber window frames and sashes.
- Warped timber window and door openings.

This space is in poor condition and of **moderate-high integrity**. Apart from some alterations, the form, construction and details predominantly represent the original (1913) design qualities.

4.2.4 **Kitchen** is predominantly characterised by the following construction and detailing (Photo 3.107-3.118):

- Original (1913) coved, v-jointed timber lining board ceilings (introduced overpainting).
- Original (1913) timber scotia mould cornices (introduced overpainting).
- Original (1913) v-jointed timber lining board walls (introduced overpainting).
- Original (1913) angled timber skirtings (introduced overpainting).
- Original (1913) timber floor boards with introduced linoleum over.
- Original (1913) timber framed four paned double hung windows.
- Original (1913) simple timber window and door architraves.
- Original (1913) v-jointed timber doors with early door furniture (south and east walls).
- Early altered painted brick fireplace (south wall).
- Introduced fireplace (south wall, west end).
- Introduced concrete hearth (south wall).

Conservation Comments

- Major movement and warped walls.
- Substantially sloping floor (drops to the north and east walls).

- Warped timber window and door frames.
- Introduced vent box above north door opening.
- Missing door furniture on south door.
- Cracks in fireplace. The fireplace has been altered with the original cast iron oven having been removed.
- Weathered timber window frames and sashes.
- Cracked window architraves.

This space is in poor condition and of **moderate-high integrity**. Apart from some alterations, the form, construction and details predominantly represent the original (1913) design qualities.

4.2.5 **Store Room – this room was not accessible at the time of the site visit.**

4.2.6 **Staff Lunch Room** is predominantly characterised by the following construction and detailing (Photos 3.119-3.122, 3.124):

- Original (1913) coved, v-jointed timber lining board ceilings (introduced overpainting).
- Original (1913) timber scotia mould cornices.
- Original (1913) v-jointed timber lining board walls (introduced overpainting).
- Original (1913) angled timber skirtings.
- Original (1913) timber floor boards with introduced linoleum over.
- Introduced aluminium framed window (north wall).
- Introduced three paned timber framed window (east wall).
- Introduced plain timber window architraves (east wall).
- Original (1913) v-jointed timber door with early door furniture (west wall).
- Introduced flush panel timber door (north wall).
- Introduced kitchen sink and cupboards.

This space is in poor condition and of **moderate-high integrity**. Apart from some alterations, the form, construction and details predominantly represent the original (1913) design qualities.

4.2.7 **Staff Bathroom** is predominantly characterised by the following construction and detailing (Photo 3.123):

- Introduced cement sheet ceiling.
- Introduced cement sheet wall cladding.
- Introduced concrete floor.
- Original (1913) two paned timber framed double hung window (frosted glazing to lower sash).
- Introduced built-in shower cubicles and wash basin.

This space is in fair condition and of **low integrity**. Apart from the spatial layout, the space has been substantially altered.

4.2.8 **Office** is predominantly characterised by the following construction and detailing:

- Original (1913) coved, v-jointed timber lining board ceilings (introduced overpainting).
- Original (1913) timber scotia mould cornices.
- Original (1913) v-jointed timber lining board walls (introduced overpainting).
- Original (1913) angled timber skirtings.
- Original (1913) timber floor boards with introduced linoleum over.
- Original (1913) two paned timber framed double hung window (north wall).

- Original (1913) v-jointed boarded timber door (south wall).
- Original (1913) ceiling flue.
- Original (1913) timber writing desk.

Conservation Comments

- Cut-in timber lining boards on east wall (evidence of former window opening).
- Damaged and weathered timber window sill and sash.
- Evidence of possum effluent on ceiling and wall (vermin ingress in ceiling space).

This space is in fair condition and of **moderate-high integrity**. Apart from some alterations, the form, construction and details predominantly represent the original (1913) design qualities.

5.0 Former Latrines Shed

5.1 Exterior (Photos 3.125-3.127)

Conservation Issues

Specific conservation issues identified from the site inspections revealed the following:

- Rusted galvanised corrugated steel roof cladding, capping and quad gutters.
- Only one downpipe to drain gutter (east elevation), which is not connected to sealed drainage.
- Introduced galvanised corrugated steel cladding under eaves (covering original timber lattice screens).
- Weathered timber fascias.
- Weathered timber strips to original timber lattice screens under eaves.

5.2 Interior: Latrines Shed (Photos 3.128-3.131)

The interior of the Latrines Shed is predominantly characterised by the following construction and detailing:

- Original (1913) exposed timber roof structure and galvanised corrugated steel cladding.
- Original (1913) timber stud wall frame with ripple iron cladding and timber lattice screens above.
- Early timber boarded shutters over lattice screens (east and west walls).
- Introduced concrete floor slab.

Overall, the former Latrines Shed is in poor condition and of **moderate-high integrity**.

6.0 Former Caretaker's Cottage

6.1 Exterior (Photos 3.132-3.137)

Conservation Issues

Specific conservation issues identified from the site inspections revealed the following:

- Rotted timber bargeboards (east and west elevations).
- Rotted timber baseboards.
- Rotted and deteriorated timber weatherboard wall cladding.
- Blocked up window opening (east elevation).
- Loose metal flashing (east elevation).

- Rusted galvanised corrugated steel roof cladding and capping.
- Rusted half round original gutters (north and south elevations).
- No downpipes.
- Weathered timber fascias (north and south elevations).
- Weathered timber finial (west elevation).
- Missing timber finial (east elevation).
- Missing glazing in window opening (west elevation).
- Missing weatherboards (west elevation).
- Completely rotted and missing lower portion of doors (south elevation).
- Introduced galvanised steel cladding over lower portion of doors (south elevation).

Overall, the exterior of the former Caretaker's Cottage is in poor condition and of **moderate-high integrity**.

6.2 Interior: Former Caretaker's Cottage (Photos 3.138-3.139)

The interior of the former Caretaker's Cottage is predominantly characterised by the following construction and detailing:

- Original coved beaded edged timber lining board ceiling (with early overpainting).
- Original beaded edged timber lining board walls with early brown painted dado.
- Original timber floor boards.
- Original timber writing bench.

Conservation Comments

- Rotted timber wall studs.
- Rotted timber bottom plates (now resting on ground).
- Substantially deteriorated timber floor boards.

This space is in poor condition and of **high integrity**. The form, construction and details predominantly represent the original design qualities.

7.0 Toilet Block (Photos 3.140-3.142)

Conservation Issues

Specific conservation issues identified from the site inspections revealed the following:

- Rotted timber base boards to introduced metal deck screens.
- Exposed bricks (north wall) (as a result of previously chased in downpipe and rainhead).
- No sealed drainage or rainwater removal from roof.

8.06 Australia ICOMOS Burra Charter

The Burra Charter

(The Australia ICOMOS Charter for Places of Cultural Significance)

Preamble

Considering the International Charter for the Conservation and Restoration of Monuments and Sites (Venice 1964), and the Resolutions of the 5th General Assembly of the International Council on Monuments and Sites (ICOMOS) (Moscow 1978), the Burra Charter was adopted by Australia ICOMOS (the Australian National Committee of ICOMOS) on 19 August 1979 at Burra, South Australia. Revisions were adopted on 23 February 1981, 23 April 1988 and 26 November 1999.

The Burra Charter provides guidance for the conservation and management of places of cultural significance (cultural heritage places), and is based on the knowledge and experience of Australia ICOMOS members.

Conservation is an integral part of the management of places of cultural significance and is an ongoing responsibility.

Who is the Charter for?

The Charter sets a standard of practice for those who provide advice, make decisions about, or undertake works to places of cultural significance, including owners, managers and custodians.

Using the Charter

The Charter should be read as a whole. Many articles are interdependent. Articles in the Conservation Principles section are often further developed in the Conservation Processes and Conservation Practice sections. Headings have been included for ease of reading but do not form part of the Charter.

The Charter is self-contained, but aspects of its use and application are further explained in the following Australia ICOMOS documents:

- Guidelines to the Burra Charter: Cultural Significance;

- Guidelines to the Burra Charter: Conservation Policy;
- Guidelines to the Burra Charter: Procedures for Undertaking Studies and Reports;
- Code on the Ethics of Coexistence in Conserving Significant Places.

What places does the Charter apply to?

The Charter can be applied to all types of places of cultural significance including natural, indigenous and historic places with cultural values.

The standards of other organisations may also be relevant. These include the Australian Natural Heritage Charter and the Draft Guidelines for the Protection, Management and Use of Aboriginal and Torres Strait Islander Cultural Heritage Places.

Why conserve?

Places of cultural significance enrich people's lives, often providing a deep and inspirational sense of connection to community and landscape, to the past and to lived experiences. They are historical records, that are important as tangible expressions of Australian identity and experience. Places of cultural significance reflect the diversity of our communities, telling us about who we are and the past that has formed us and the Australian landscape. They are irreplaceable and precious.

These places of cultural significance must be conserved for present and future generations.

The Burra Charter advocates a cautious approach to change: do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained.

Articles

Article 1. Definitions

For the purposes of this Charter:

- 1.1 *Place* means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.
- 1.2 *Cultural significance* means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the *place* itself, its *fabric*, *setting*, *use*, *associations*, *meanings*, records, *related places* and *related objects*.

Places may have a range of values for different individuals or groups.
- 1.3 *Fabric* means all the physical material of the *place* including components, fixtures, contents, and objects.
- 1.4 *Conservation* means all the processes of looking after a *place* so as to retain its *cultural significance*.
- 1.5 *Maintenance* means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.
- 1.6 *Preservation* means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.
- 1.7 *Restoration* means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
- 1.8 *Reconstruction* means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.
- 1.9 *Adaptation* means modifying a *place* to suit the existing use or a proposed use.
- 1.10 *Use* means the functions of a place, as well as the activities and practices that may occur at the place.
- 1.11 *Compatible use* means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.
- 1.12 *Setting* means the area around a *place*, which may include the visual catchment.
- 1.13 *Related place* means a place that contributes to the *cultural significance* of another place.

Explanatory Notes

The concept of place should be broadly interpreted. The elements described in Article 1.1 may include memorials, trees, gardens, parks, places of historical events, urban areas, towns, industrial places, archaeological sites and spiritual and religious places.

The term cultural significance is synonymous with heritage significance and cultural heritage value.

Cultural significance may change as a result of the continuing history of the place.

Understanding of cultural significance may change as a result of new information.

Fabric includes building interiors and sub-surface remains, as well as excavated material.

Fabric may define spaces and these may be important elements of the significance of the place.

The distinctions referred to, for example in relation to roof gutters, are:

- maintenance — regular inspection and cleaning of gutters;
- repair involving restoration — returning of dislodged gutters;
- repair involving reconstruction — replacing decayed gutters.

It is recognised that all places and their components change over time at varying rates.

New material may include recycled material salvaged from other places. This should not be to the detriment of any place of cultural significance.

Articles

- 1.14 *Related object* means an object that contributes to the *cultural significance* of a *place* but is not at the *place*.
- 1.15 *Associations* mean the special connections that exist between people and a *place*.
- 1.16 *Meanings* denote what a *place* signifies, indicates, evokes or expresses.
- 1.17 *Interpretation* means all the ways of presenting the *cultural significance* of a *place*.

Conservation Principles

Article 2. Conservation and management

- 2.1 *Places of cultural significance* should be conserved.
- 2.2 The aim of *conservation* is to retain the *cultural significance* of a *place*.
- 2.3 *Conservation* is an integral part of good management of *places of cultural significance*.
- 2.4 *Places of cultural significance* should be safeguarded and not put at risk or left in a vulnerable state.

Article 3. Cautious approach

- 3.1 *Conservation* is based on a respect for the existing *fabric, use, associations* and *meanings*. It requires a cautious approach of changing as much as necessary but as little as possible.
- 3.2 Changes to a *place* should not distort the physical or other evidence it provides, nor be based on conjecture.

Article 4. Knowledge, skills and techniques

- 4.1 *Conservation* should make use of all the knowledge, skills and disciplines which can contribute to the study and care of the *place*.
- 4.2 Traditional techniques and materials are preferred for the *conservation* of significant *fabric*. In some circumstances modern techniques and materials which offer substantial conservation benefits may be appropriate.

Explanatory Notes

Associations may include social or spiritual values and cultural responsibilities for a place.

Meanings generally relate to intangible aspects such as symbolic qualities and memories.

Interpretation may be a combination of the treatment of the fabric (e.g. maintenance, restoration, reconstruction); the use of and activities at the place; and the use of introduced explanatory material.

The traces of additions, alterations and earlier treatments to the fabric of a place are evidence of its history and uses which may be part of its significance. Conservation action should assist and not impede their understanding.

The use of modern materials and techniques must be supported by firm scientific evidence or by a body of experience.

Articles

Article 5. Values

- 5.1 *Conservation of a place* should identify and take into consideration all aspects of cultural and natural significance without unwarranted emphasis on any one value at the expense of others.
- 5.2 Relative degrees of *cultural significance* may lead to different *conservation* actions at a place.

Article 6. Burra Charter process

- 6.1 The *cultural significance* of a *place* and other issues affecting its future are best understood by a sequence of collecting and analysing information before making decisions. Understanding cultural significance comes first, then development of policy and finally management of the place in accordance with the policy.
- 6.2 The policy for managing a place must be *based* on an understanding of its *cultural significance*.
- 6.3 Policy development should also include consideration of other factors affecting the future of a *place* such as the owner's needs, resources, external constraints and its physical condition.

Article 7. Use

- 7.1 Where the *use* of a place is of *cultural significance* it should be retained.
- 7.2 A *place* should have a *compatible* use.

Article 8. Setting

Conservation requires the retention of an appropriate visual *setting* and other relationships that contribute to the *cultural significance* of the *place*.

New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

Explanatory Notes

Conservation of places with natural significance is explained in the Australian Natural Heritage Charter. This Charter defines natural significance to mean the importance of ecosystems, biological diversity and geodiversity for their existence value, or for present or future generations in terms of their scientific, social, aesthetic and life-support value.

A cautious approach is needed, as understanding of cultural significance may change. This article should not be used to justify actions which do not retain cultural significance.

The Burra Charter process, or sequence of investigations, decisions and actions, is illustrated in the accompanying flowchart.

The policy should identify a use or combination of uses or constraints on uses that retain the cultural significance of the place. New use of a place should involve minimal change, to significant fabric and use; should respect associations and meanings; and where appropriate should provide for continuation of practices which contribute to the cultural significance of the place.

Aspects of the visual setting may include use, siting, bulk, form, scale, character, colour, texture and materials.

Other relationships, such as historical connections, may contribute to interpretation, appreciation, enjoyment or experience of the place.

Articles

Article 9. Location

- 9.1 The physical location of a *place* is part of its *cultural significance*. A building, work or other component of a place should remain in its historical location. Relocation is generally unacceptable unless this is the sole practical means of ensuring its survival.
- 9.2 Some buildings, works or other components of *places* were designed to be readily removable or already have a history of relocation. Provided such buildings, works or other components do not have significant links with their present location, removal may be appropriate.
- 9.3 If any building, work or other component is moved, it should be moved to an appropriate location and given an appropriate use. Such action should not be to the detriment of any *place of cultural significance*.

Article 10. Contents

Contents, fixtures and objects which contribute to the *cultural significance* of a *place* should be retained at that place. Their removal is unacceptable unless it is: the sole means of ensuring their security and *preservation*; on a temporary basis for treatment or exhibition; for cultural reasons; for health and safety; or to protect the place. Such contents, fixtures and objects should be returned where circumstances permit and it is culturally appropriate.

Article 11. Related places and objects

The contribution which *related places* and *related objects* make to the *cultural significance* of the *place* should be retained.

Article 12. Participation

Conservation, interpretation and management of a *place* should provide for the participation of people for whom the place has special *associations* and *meanings*, or who have social, spiritual or other cultural responsibilities for the place.

Article 13. Co-existence of cultural values

Co-existence of cultural values should be recognised, respected and encouraged, especially in cases where they conflict.

Explanatory Notes

For some places, conflicting cultural values may affect policy development and management decisions. In this article, the term cultural values refers to those beliefs which are important to a cultural group, including but not limited to political, religious, spiritual and moral beliefs. This is broader than values associated with cultural significance.

Articles**Explanatory Notes****Conservation Processes****Article 14. Conservation processes**

Conservation may, according to circumstance, include the processes of: retention or reintroduction of a *use*; retention of *associations* and *meanings*; *maintenance*, *preservation*, *restoration*, *reconstruction*, *adaptation* and *interpretation*; and will commonly include a combination of more than one of these.

There may be circumstances where no action is required to achieve conservation.

Article 15. Change

- 15.1 Change may be necessary to retain *cultural significance*, but is undesirable where it reduces cultural significance. The amount of change to a *place* should be guided by the *cultural significance* of the place and its appropriate *interpretation*.
- 15.2 Changes which reduce *cultural significance* should be reversible, and be reversed when circumstances permit.
- 15.3 Demolition of significant *fabric* of a *place* is generally not acceptable. However, in some cases minor demolition may be appropriate as part of *conservation*. Removed significant fabric should be reinstated when circumstances permit.
- 15.4 The contributions of all aspects of *cultural significance* of a *place* should be respected. If a place includes *fabric*, *uses*, *associations* or *meanings* of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

When change is being considered, a range of options should be explored to seek the option which minimises the reduction of cultural significance.

Reversible changes should be considered temporary. Non-reversible change should only be used as a last resort and should not prevent future conservation action.

Article 16. Maintenance

Maintenance is fundamental to *conservation* and should be undertaken where *fabric* is of *cultural significance* and its maintenance is necessary to retain that *cultural significance*.

Articles

Article 17. Preservation

Preservation is appropriate where the existing *fabric* or its condition constitutes evidence of *cultural significance*, or where insufficient evidence is available to allow other *conservation* processes to be carried out.

Article 18. Restoration and reconstruction

Restoration and *reconstruction* should reveal culturally significant aspects of the *place*.

Article 19. Restoration

Restoration is appropriate only if there is sufficient evidence of an earlier state of the *fabric*.

Article 20. Reconstruction

20.1 *Reconstruction* is appropriate only where a *place* is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the *fabric*. In rare cases, reconstruction may also be appropriate as part of a use or practice that retains the *cultural significance* of the place.

20.2 *Reconstruction* should be identifiable on close inspection or through additional *interpretation*.

Article 21. Adaptation

21.1 *Adaptation* is acceptable only where the adaptation has minimal impact on the *cultural significance* of the place.

21.2 *Adaptation* should involve minimal change to significant fabric, achieved only after considering alternatives.

Article 22. New work

22.1 New work such as additions to the *place* may be acceptable where it does not distort or obscure the *cultural significance* of the place, or detract from its *interpretation* and appreciation.

22.2 New work should be readily identifiable as such.

Explanatory Notes

Preservation protects fabric without obscuring the evidence of its construction and use. The process should always be applied:

- where the evidence of the fabric is of such significance that it should not be altered;
- where insufficient investigation has been carried out to permit policy decisions to be taken in accord with Articles 26 to 28.

New work (e.g. stabilisation) may be carried out in association with preservation when its purpose is the physical protection of the fabric and when it is consistent with Article 22.

Adaptation may involve the introduction of new services, or a new use, or changes to safeguard the place.

New work may be sympathetic if its siting, bulk, form, scale, character, colour, texture and material are similar to the existing fabric, but imitation should be avoided.

Articles

Article 23. Conserving use

Continuing, modifying or reinstating a significant *use* may be appropriate and preferred forms of *conservation*.

Article 24. Retaining associations and meanings

24.1 Significant *associations* between people and a *place* should be respected, retained and not obscured. Opportunities for the *interpretation*, commemoration and celebration of these associations should be investigated and implemented.

24.2 Significant *meanings*, including spiritual values, of a *place* should be respected. Opportunities for the continuation or revival of these meanings should be investigated and implemented.

Article 25. Interpretation

The *cultural significance* of many places is not readily apparent, and should be explained by *interpretation*. Interpretation should enhance understanding and enjoyment, and be culturally appropriate.

Conservation Practice

Article 26. Applying the Burra Charter process

26.1 Work on a *place* should be preceded by studies to understand the place which should include analysis of physical, documentary, oral and other evidence, drawing on appropriate knowledge, skills and disciplines.

26.2 Written statements of *cultural significance* and policy for the *place* should be prepared, justified and accompanied by supporting evidence. The statements of significance and policy should be incorporated into a management plan for the place.

26.3 Groups and individuals with *associations* with a place as well as those involved in its management should be provided with opportunities to contribute to and participate in understanding the *cultural significance* of the place. Where appropriate they should also have opportunities to participate in its *conservation* and management.

Article 27. Managing change

27.1 The impact of proposed changes on the *cultural significance* of a *place* should be analysed with reference to the statement of significance and the policy for managing the place. It may be necessary to modify proposed changes following analysis to better retain cultural significance.

27.2 Existing *fabric*, *use*, *associations* and *meanings* should be adequately recorded before any changes are made to the *place*.

Explanatory Notes

These may require changes to significant fabric but they should be minimised. In some cases, continuing a significant use or practice may involve substantial new work.

For many places associations will be linked to use.

The results of studies should be up to date, regularly reviewed and revised as necessary.

Statements of significance and policy should be kept up to date by regular review and revision as necessary. The management plan may deal with other matters related to the management of the place.

Articles

Article 28. Disturbance of fabric

- 28.1 Disturbance of significant *fabric* for study, or to obtain evidence, should be minimised. Study of a *place* by any disturbance of the fabric, including archaeological excavation, should only be undertaken to provide data essential for decisions on the *conservation* of the place, or to obtain important evidence about to be lost or made inaccessible.
- 28.2 Investigation of a *place* which requires disturbance of the *fabric*, apart from that necessary to make decisions, may be appropriate provided that it is consistent with the policy for the place. Such investigation should be based on important research questions which have potential to substantially add to knowledge, which cannot be answered in other ways and which minimises disturbance of significant fabric.

Article 29. Responsibility for decisions

The organisations and individuals responsible for management decisions should be named and specific responsibility taken for each such decision.

Article 30. Direction, supervision and implementation

Competent direction and supervision should be maintained at all stages, and any changes should be implemented by people with appropriate knowledge and skills.

Article 31. Documenting evidence and decisions

A log of new evidence and additional decisions should be kept.

Article 32. Records

- 32.1 The records associated with the *conservation* of a *place* should be placed in a permanent archive and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.
- 32.2 Records about the history of a *place* should be protected and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.

Article 33. Removed fabric

Significant *fabric* which has been removed from a *place* including contents, fixtures and objects, should be catalogued, and protected in accordance with its *cultural significance*.

Where possible and culturally appropriate, removed significant fabric including contents, fixtures and objects, should be kept at the place.

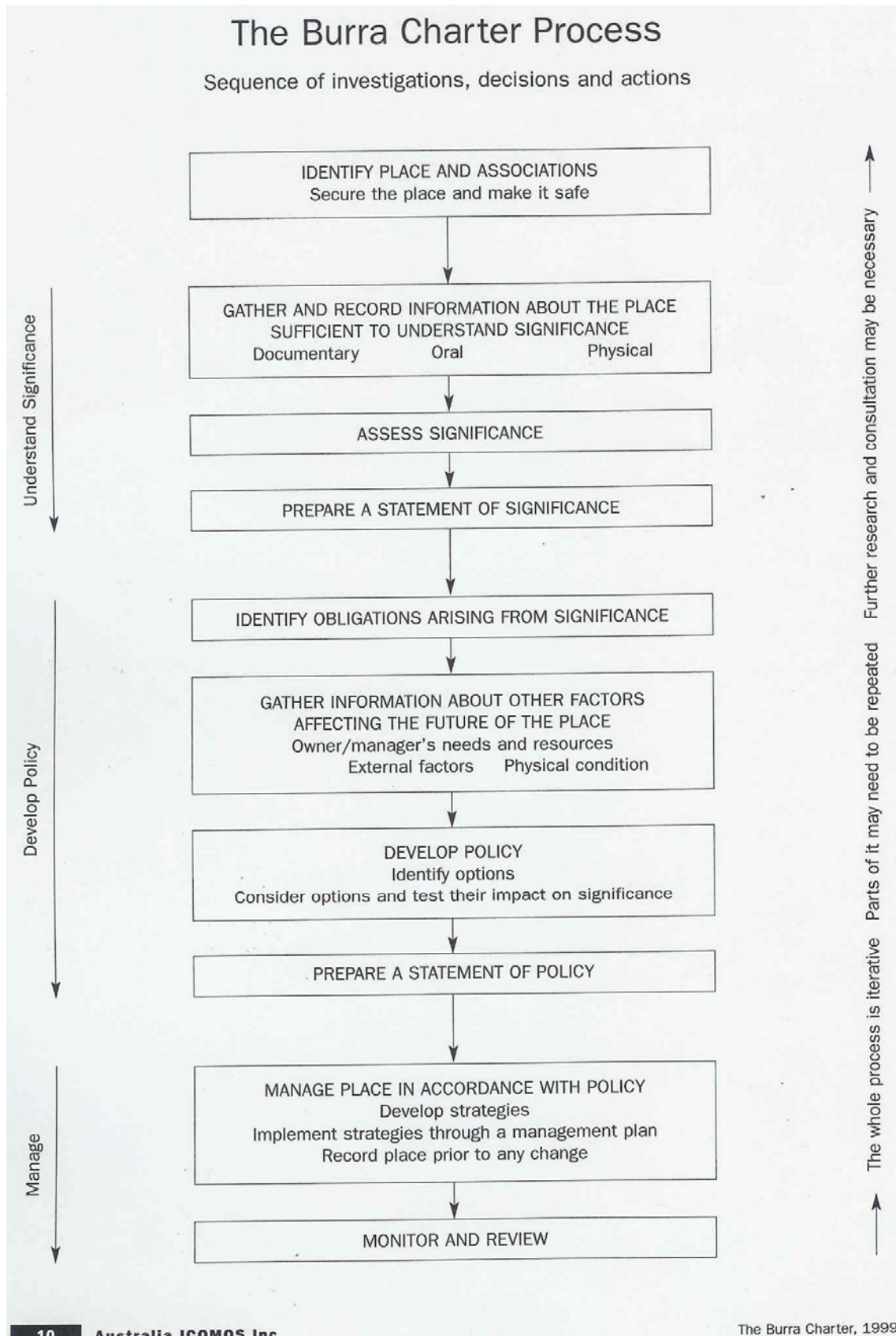
Article 34. Resources

Adequate resources should be provided for conservation.

Words in italics are defined in Article 1.

Explanatory Notes

The best conservation often involves the least work and can be inexpensive.



8.07 Heritage Council of Victoria Assessment Criteria



Heritage VICTORIA

CRITERIA FOR ASSESSMENT OF CULTURAL HERITAGE SIGNIFICANCE

(Criteria adopted by the Heritage Council on 6 March 1997 pursuant to Sections 8(c) and 8(2) of the Heritage Act 1995)

- CRITERION A.** The historical importance, association with or relationship to Victoria's history of the place or object.
- CRITERION B.** The importance of a place or object in demonstrating rarity or uniqueness.
- CRITERION C.** The place or object's potential to educate, illustrate or provide further scientific investigation in relation to Victoria's cultural heritage.
- CRITERION D.** The importance of a place or object in exhibiting the principal characteristics or the representative nature of a place or object as part of a class or type of places or objects.
- CRITERION E.** The importance of the place or object in exhibiting good design or aesthetic characteristics and/or in exhibiting a richness, diversity or unusual integration of features
- CRITERION F.** The importance of the place or object in demonstrating or being associated with scientific or technical innovations or achievements.
- CRITERION G.** The importance of the place or object in demonstrating social or cultural associations.
- CRITERION H.** Any other matter which the Council considers relevant to the determination of cultural heritage significance.

8.08 SWOT Analysis

Strengths

- Location – close to CBD for users, rural supplier and smaller rural producers, also good road services
- Services – gas, power & water on site
- Can cater for run-off of animal waste (but in a limited capacity)
- Employment
- Monday sales – contributes to steady market
- Number of people it serves – more smaller producers
- Meeting place for exchange of knowledge and ideas as well as sales
- Social benefits – friendship, support & communications
- Cultural benefits – growth of the poultry and other animals area has brought a new generation of different ethnic background and cultures to the yards
- The only centre catering for smaller producers in the Geelong region
- Homeliness and character of dining room – adds to “family” atmosphere
- Provides a forum for debate on rural & other associated matters
- Rich in heritage value

Weaknesses

- Limited capability of run-off of animal waste (wet years)
- Inefficiencies in stock handling (same loading & unloading areas)
- Structure of yards – OH&S and Standards issues (significant issues)
- Restricted by structure to attract new business (limited capacity)
- Structures not friendly to stock
- Poor quality of infrastructure

Opportunities

- Staged refurbishment of existing site – yards & roofing
- Sale of waste products
- Other uses on site on other days of the week
- Cater for growth in number of smaller producers in the region (sea-changers, baby boomers, early retirees)
- Possible further development of the vacant land on the site

Threats

- Moves to consolidate and privatise other regional saleyards could attract agents and/or producers away from Geelong
- Incompatible development in the area
- Perceived lack of support by City of Greater Geelong (perception only)
- Worksafe
- Drought
- Financial pressures

8.09 Engineer's Report on Market Office building by S.W. Fallaw & Associates Pty Ltd

C.W. FALLAW & ASSOCIATES P/LA.C.N. 006 628 413
CONSULTING STRUCTURAL & CIVIL ENGINEERS232 Latrobe Terrace, Geelong West, 3218.
Ph: (03) 5229 9002. Fax: (03) 5223 2757COPY ONLY - ORIGINAL
REGISTERED ON DATAWORKS
DOC # 1086903

City of Greater Geelong
Attention: L Johnstone
Community and Recreation
PO Box 104
GEELONG 3220

Dear Madam,

Re: Existing Saleyards Building
Weddell Road, North Geelong

We have carried out an inspection of the above building in order to make an assessment of the structural condition of the building and the works required to make the building satisfactorily habitable and structurally sound.

The building is of timber framed construction with overall dimensions of 43.9 metres length and 9.3 metres maximum width and 3.0 metres floor to ceiling height at the external wall and 3.5 metres to general ceiling height. External cladding is corrugated iron and internal cladding to walls and ceiling is generally cedar lining boards. The floor is of timber flooring boards supported on hardwood joists, bearers and stumps.

An investigation of the sub-floor framing was undertaken by Provincial Geotechnical Pty Ltd and a copy of their report (Ref. No. E 5096) is attached.

The roof framing was inspected and measured, as was the verandah framing, and existing floor levels were taken to determine the extent of movement in the floor framing.

We will consider the three main elements of the building, as in roof / walls / floor and footings / and comment on each element as follows:-

1. Roof

The roof sheeting is generally in very poor condition with the northern section particularly rusty and with numerous areas where it has corroded through.

The roof framing consists of 95 x 50 Hardwood Rafters at 600 centres with a 220 x 20 Hardwood Ridge Beam and 75 x 30 Hardwood Battens at 750 centres supporting the corrugated iron sheeting. The ceiling is lined with cedar lining boards supported by 150 x 20 Hardwood Ceiling Joists at 600 centres.

The verandah roof was 2.0 metres wide with 125 x 125 Hardwood Posts at 4.1 metre average centres, 90 x 70 Hardwood Purlins at 0.65 metre centres and a 220 x 70 Hardwood Fascia Beam with a 120 x 50 Hardwood roof beam at each post.

The general condition of the ceiling lining boards is good.

2. Walls

The wall sheeting is of corrugated iron externally with timber lining boards internally. Measurements indicated that the studs were 100 mm deep.

While the northern section of the building is in reasonable condition (ie, the Offices and small amenities room), the southern section is showing some distress, particularly in the Bar area where it would appear an internal dividing wall has been removed. At this point the eastern wall is 130 mm out of plumb, with the western wall a similar amount, and both walls leaning to the east.

The general condition of the wall cladding and lining boards is good.

3. Floor

As previously mentioned, the floor and floor framing is all of timber and is showing a large amount of settlement in some areas.

From the report by Provincial Geotechnical it can be seen that the joists are 100 x 50 Hardwood at 0.45 metre centres spanning between 100 x 50 Hardwood bearers at 1.4 metre centres with 125 x 125 Redgum stumps at 1.4 to 1.6 metre centres. There is no evidence at the test sites that the stumps are supported on concrete stump pads or timber sole plates.

Levels were taken in various areas of the building and the results are shown on the attached plan.

If we consider the original floor level to be 10.00 then settlement of up to 160 mm has occurred in the Bar / Dining / Kitchen areas, and up to 110 mm in the Department of Agriculture Offices, while the northern section of the building has shown little movement.

Conclusions

As can be seen from the information obtained, the majority of the roof, verandah and floor framing does not comply with present standards; the stump footings are inadequate; the roof sheeting needs renewing; the wall framing in the Bar area is substantially out of plumb; the wall framing and linings are satisfactory and the ceiling linings are generally satisfactory.

In order to bring the building up to a reasonable standard of structural adequacy and weatherproofness, we consider the following are the minimum steps to be undertaken:

1. Remove existing roof sheeting, strengthen existing roof structure, and place new corrugated zincalume roof sheeting.
2. Remove existing verandah roof sheeting and framing as required, renew framing and place new corrugated roof sheeting.
3. Renew gutters and downpipes and upgrade stormwater drainage system to carry downpipe discharge away from building envelope.
4. Remove existing floor framing and stumps and replace with new flooring, framing, stumps and stump pads which are adequate for the required live loadings of 3.0 KPa for Office areas and 4.0 KPa for Bar / assembly areas.
5. Strengthen wall framing in Bar area.

We would estimate that the cost of these works (incl. fees) would be in the vicinity of \$175,000, however this figure could increase by at least 25% to allow for making good, painting, new equipment, etc, which could be required after the major rectification work has been carried out.

On that basis, there is obviously a case for keeping and upgrading and repairing the Office area, and demolishing and replacing the Bar / Dining / Kitchen area. If by a more efficient layout and use of space for the Bar / Dining / Kitchen area there could be a reduction in the floor area required, then there is a possibility of cost savings compared with the first option.

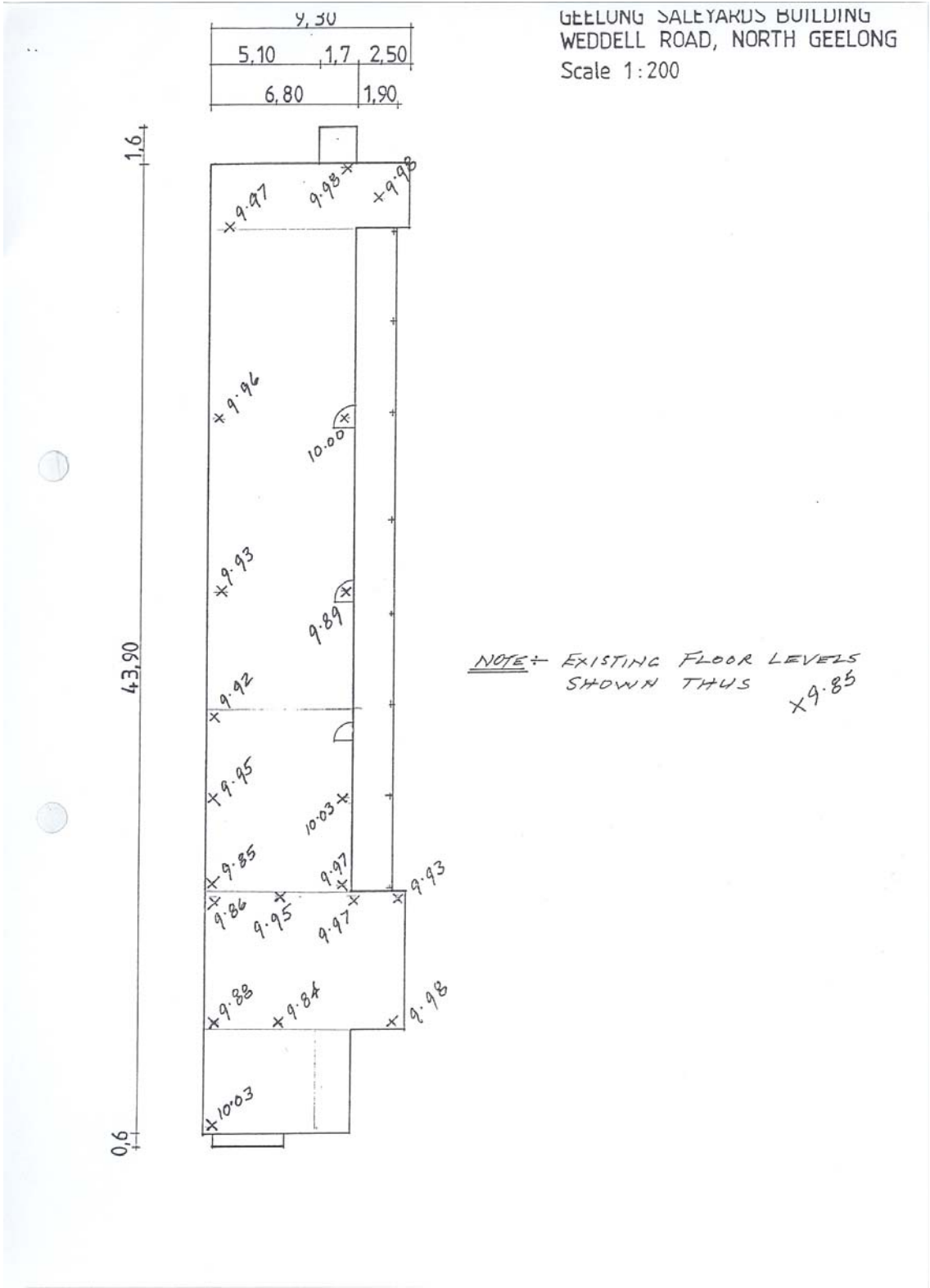
Obviously with a building of this age it is likely that there would be more faults and defects uncovered once rectification works began and more areas of the structure were exposed, so the cost estimate could be conservative.

However, this report points out the main problems with the building and the areas requiring attention.

Please contact the writer if we can be of any further assistance in this matter.

Signed

C.W. FALLAW, C.P.Eng.
BP EC-1146



8.10 Certificates of Title

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Volume 00376 Folio 018
Folio Creation: Details Unknown


STATEMENT END

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ORIGINAL

NOT TO BE TAKEN FROM THE OFFICE OF TITLES



VICTORIA

SUBSTITUTED

REGISTER BOOK

VOL. 376 FOL. 018

SUBSTITUTED Certificate of Title

UNDER THE "TRANSFER OF LAND ACT"

VOL. 376 FOL. 018

✓ THE MAYOR ALDERMEN COUNCILLORS AND BURGESSES OF THE TOWN OF GEELONG - - - in the County of Grant are now the proprietors of an estate in fee simple subject to the encumbrances notified hereunder in ALL THAT piece of land delineated and colored red on the map in the margin containing - - - - - Thirty-six acres and Twenty-two perches or thereabouts being Crown - - - - - Allotment Seventy-four Parish of Moorpanyal ^{delete, vide chart 82, 1, 4, 76} (near Cowies Creek) County of Grant - - - - -

DATED the 11th day of October 1870.


SIGNED THOS. SUNDERLAND

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Assistant Registrar of Titles



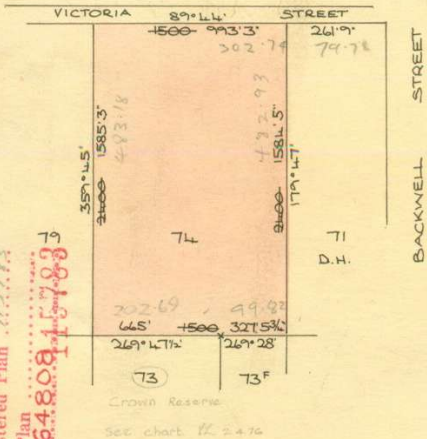
ENCUMBRANCES REFERRED TO

This substituted Certificate of Title has been prepared pursuant to Section 31(2) of the Transfer of Land Act 1958 and is to be used in place of the original Title which has been lost.

Thos. Sunderland
Assistant Registrar of Titles.

26 MAR 1976 (9-30 am)

THE WHOLE/OR PART OF THE WITHIN LAND HAS BEEN SUBDIVIDED SEE Unregistered Plan 1157/83 Misc. Plan 64808 of 1979 L.P. 64808 of 1979



D.H.
MEASUREMENTS ARE IN LINKS, FEET AND INCHES.

2

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APPLICATION NO. 2202

VOL.	FOL.	INSTRUMENT	APPLICATION
		TRANSFER AS TO PART No.C143207 Registered 8th February 1965 CANCELLED AS TO PART See Vol.8569 Fol.332 LOT One OFFICE SEAL	
		CANCELLED AS TO PART Pursuant to Regulation 12 and Titles issued as set out hereunder ON 15 TH JUNE 1976 Lots ONE to SIX in Vol 9143 AND 7 TH CENT. to Vol 9143 L.P. 115783	<i>Now 1-P.55</i>



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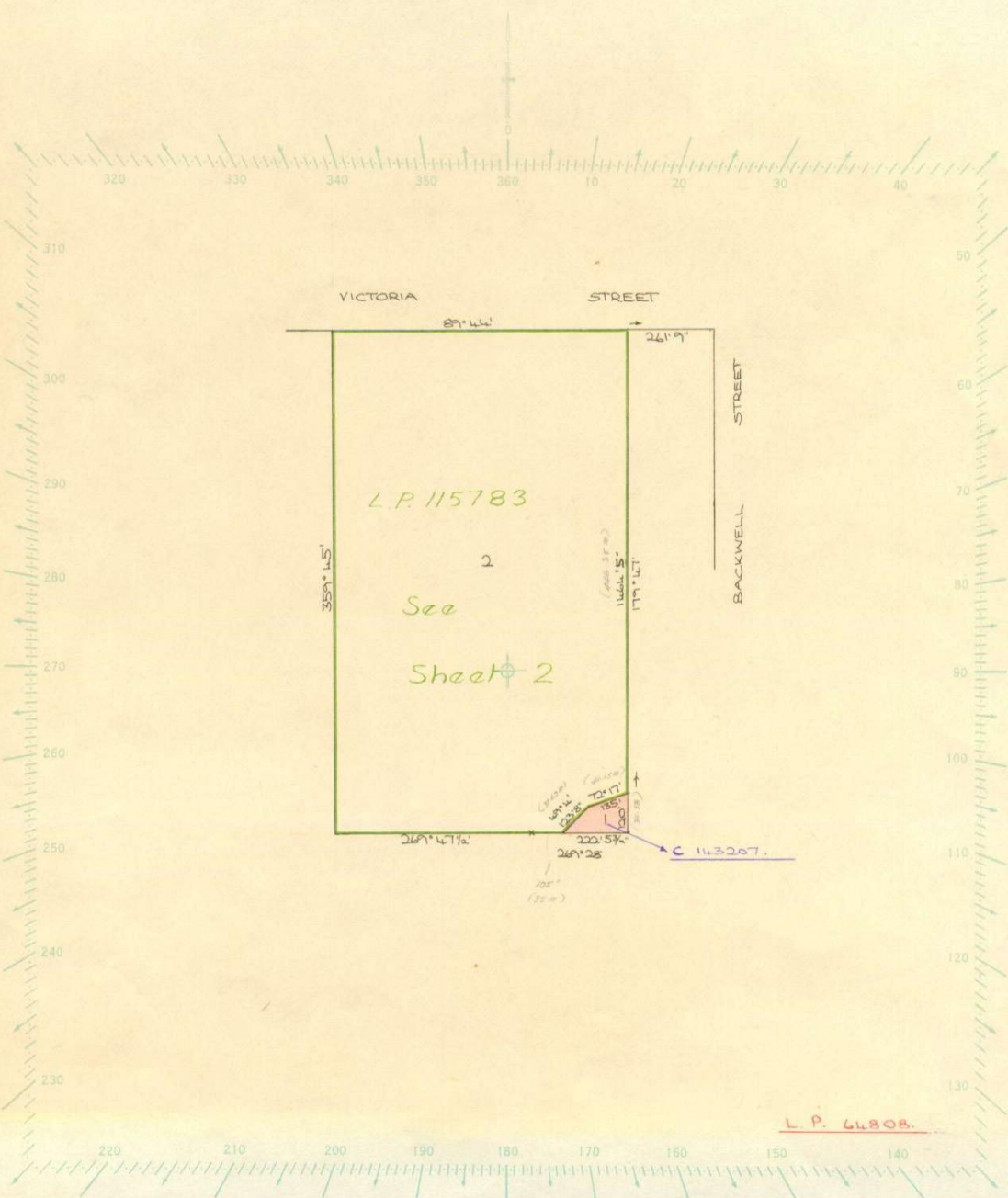
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SCALE: 400 FEET.

Volume 376. Folio 018



T00376-018-2-1



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WARNING

SK 111
 17/3/74

Sheet 1.

Natural Resources and Environment
AGRICULTURE • RESOURCES • CONSERVATION • LAND MANAGEMENT
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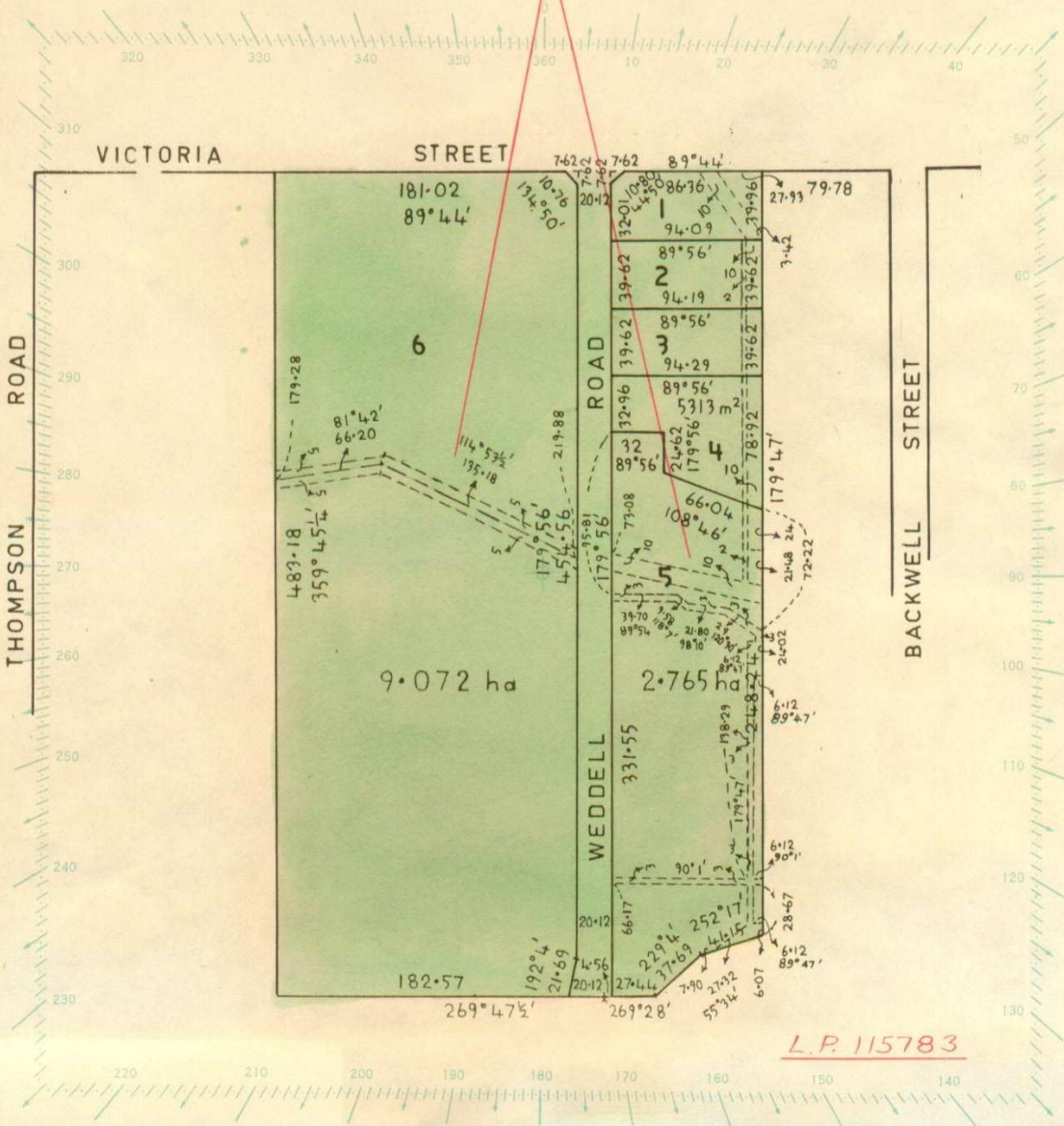
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SCALE:

Volume 376 Folio 018

**L.P. 115783 CANCELS FROM THIS TITLE
 ALL LOTS ON SAID L.P.
 7 CERTS. TO ISSUE**

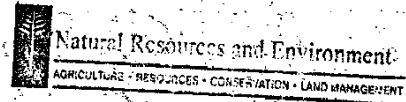


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L.P. 115783

Sheet 2



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Volume 09143 Folio 500
Folio Creation: Details Unknown
Parent title Volume 00376 Folio 018

STATEMENT END

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VICTORIA

CANCELLED

REGISTER BOOK

VOL. 9143 FOL. 500
 INDEX PLAN No. 55

Certificate of Title

UNDER THE "TRANSFER OF LAND ACT"

THE MAYOR COUNCILLORS AND CITIZENS OF THE CITY OF GEELONG is the proprietor of an estate in fee simple subject to the ----- encumbrances notified hereunder in ALL THAT piece of land ----- coloured on the map hereon being Lot 6 on Plan of Subdivision- No.115783 Parish of Moorpanyal County of Grant --

Issued under Regulation 12 on the approval of the -- above Plan of Subdivision-

J. W. Staggart

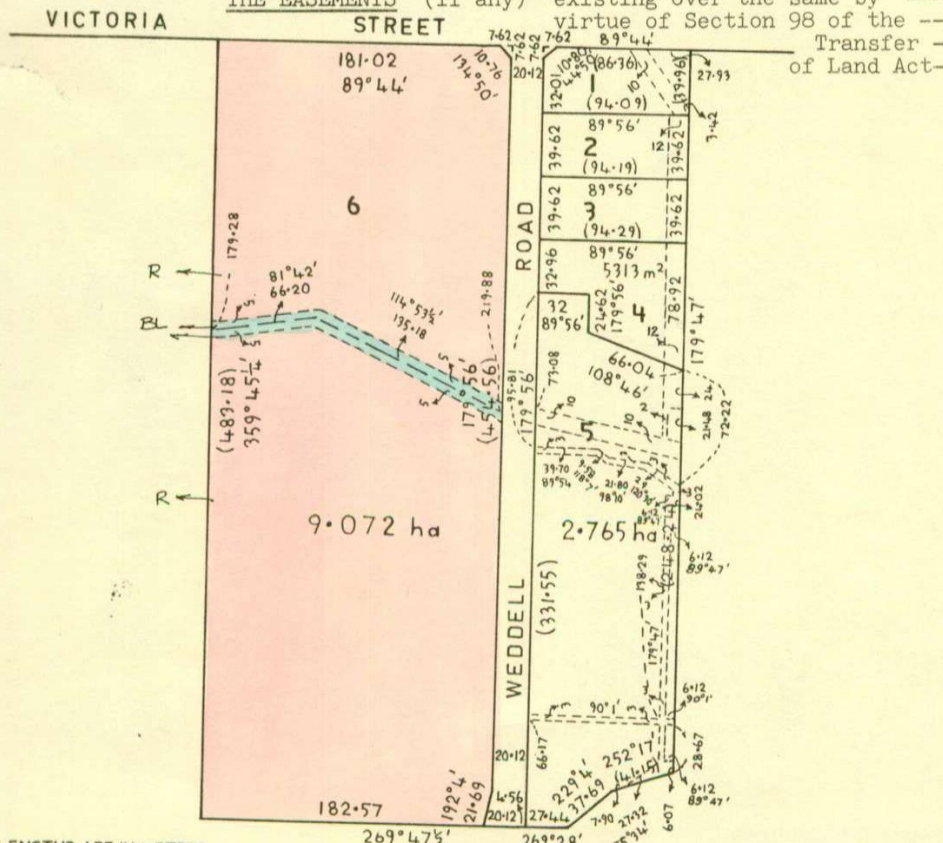


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Assistant Registrar of Titles

ENCUMBRANCES REFERRED TO

As to any land coloured blue
 THE EASEMENTS (if any) existing over the same by --- virtue of Section 98 of the -- Transfer - of Land Act-



LENGTHS ARE IN METRES
 AREAS (IF SHOWN) ARE IN HECTARES (ha)
 OR IN SQUARE METRES (m²)

DERIVED FROM
 VOL. 376 FOL. 018
 15/6/'76.

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VOL. 5143 FOL. 500

CANCELLED

The following Titles have been issued
Pursuant to Regulation 10 of the
Transfer of Land Act

on 28-1-87

Lots 2 in Vol. 9724 Fol. 138
in Vol. 9724 Fol. 139

on LP 2064647

CANCELLED



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Volume 09724 Folio 139

Folio Creation: Created as paper folio continued as computer folio

Parent title Volume 09143 Folio 500

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**CONTINUED AS A
 COMPUTER FOLIO**

REGISTER BOOK

VOL. 9724 FOL. 139

Certificate of Title

UNDER THE "TRANSFER OF LAND ACT"

P-5
 THE MAYOR COUNCILLORS AND CITIZENS OF THE CITY OF GEELONG is the proprietor of an estate in fee simple subject to the encumbrances notified hereunder in all that land in the Parish of Moorparry County of Grant being lot 2 on Plan of Subdivision No. 206464 which land is shown enclosed by continuous lines on the map hereon and identified by that lot number issued under Regulation 10 -

Derived From
 Vol. 9143 Fol. 500
 28/11/87

H. J. Niagara.

Assistant Registrar of Titles



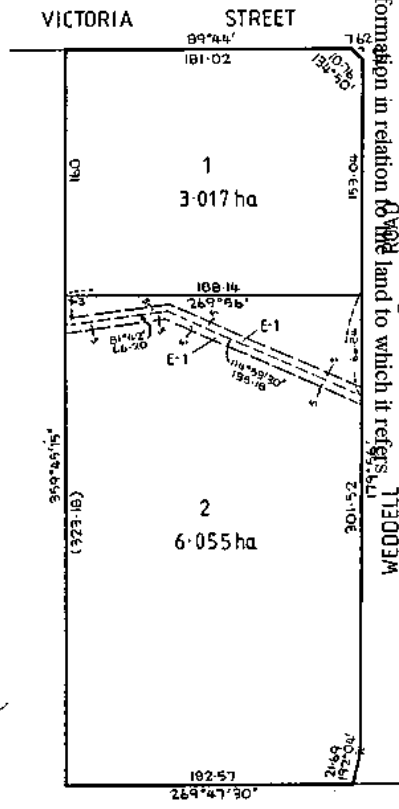
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DATA VERIFIED
 9 SEP 1993

ENCUMBRANCES

As to any part of the land marked E-1 on the map that lies within the above-mentioned Lot -

THE EASEMENTS (if any) existing over the same by virtue of Section 98 of the Transfer of Land Act -



WARNING
TEXT & DIAGRAM CONVERTED



T09724-139-1-7

MEASUREMENTS ARE IN METRES

VOL.9724 FOL. 139

**CONTINUED AS A
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8.11 City of Geelong: Conditions for Leasing the Kitchen, Dining Room & Bar, 29 July 1937, Geelong Heritage Centre

CITY OF GEELONG.

Cattle Yards
1235
/10

CONDITIONS for Leasing the Kitchen, Dining Room and Bar,
together with the furniture and fixtures therein, at the
Corporation Cattle Markets, Kildare.

The term is to be for a period of three years, commencing
on the 15th August, 1937 and terminating on the 14th August,
1940.

The Lessee shall pay the rent quarterly in advance to the
Superintendent of the Cattle Yards and Abattoirs.

The Lessee shall make such arrangements as may be necessary
in order to meet the public requirements as from the date on
which his tenancy commences.

The Lessee shall pay the license fees for the sale of
spiritous and fermented liquors and cigars &c., as is usual with
a bar business.

The Lessee shall keep a sufficient number of thoroughly
trained persons to attend to the requirements of the public in
an expeditious manner. The Lessee shall be responsible for the
observance by his staff of uniform courtesy and civility towards
the public.

Every description of refreshment and viands supplied, exhibited
or stocked by the Lessee shall be of the best quality, and shall
be fresh, palatably cooked, and of appetising appearance, and
shall be cleanly and promptly served; all tea and coffee shall
be served freshly made.

The Lessee shall provide suitable and sufficient silverware
cutlery, forks and spoons, table cloths, and such other table
accessories and culinary utensils and other articles as are
necessary for the business.

*N.B.
ARW*

The Lessee shall keep the rooms and the furniture, fixtures
and fittings in and about the same in good and proper order,
cleanliness and repair, to the satisfaction of the Superintendent
of the Cattle Yards and Abattoirs, and shall make good or pay
for any damage to such furniture, fixtures and fittings, which
are the property of the Council, fair wear and tear excepted.
In the event of the failure or neglect of the Lessee to make good
or repair such furniture, fixtures or fittings when called upon
by the said Superintendent so to do, the said Superintendent
shall order the necessary repairs to be carried out, and the
Lessee shall on demand reimburse the Council the cost of any
repairs so carried out. At the expiration or sooner determination
of the Lease, such rooms, furniture, fixtures and fittings shall
be handed over to the Council in the same state of order, clean-
liness, and repair as when received, fair wear and tear alone
excepted.

The Lessee shall not, without the consent of the Superintendent
of the Cattle Yards and Abattoirs, affix, exhibit or display or
allow to be affixed, exhibited or displayed, any Bills, Posters
or other Advertisements in the Dining or Refreshment Rooms.

The Council will supply the water required for use at the
Refreshment Rooms free of charge, but the Lessee shall exercise
every care against waste.

- 2 -

The Council by their officers or workmen shall have the right to enter into and examine the premises, and the furniture, fittings and other fixtures therein at any time, and to resume any portion of the premises at any time for the purpose of effecting any alterations and improvements, and the Lessee shall not have any claim against the Council in respect of such entry, examination, or resumption nor in respect of any such alteration or improvement nor anything arising therefrom.

The Lessee shall not utilise for any other purpose except those specified herein, nor permit any of his employees or any other person to utilise for other purpose, any of the rooms leased under these conditions.

In the event of the rent remaining unpaid for seven days after the same shall have become due, or in the event of the Lessee becoming or being adjudged bankrupt or insolvent, or assigning his estate for the benefit of his creditors, or failing or neglecting, in the opinion of the Council to conduct the business in an orderly, respectable, and satisfactory manner, or becoming intoxicated, or being in the opinion of the Council of untidy habits or addicted to the excessive use of intoxicating or spiritous liquors, or being adjudged by the Council to have committed any breach of any of the covenants, conditions or requirements of the Lease, then the Council shall have the full right without compensation to determine and put an end to the Lease upon notice in writing to the Lessee.

In the event of the cancellation of the Lease, the Council, by their Agents or Officers, shall have full power, without notice or demand, to enter into and take possession of the premises and to expel every person therefrom in like manner as a Sheriff might do under a writ of "Habere facias possessionem". And in the event of any action brought in respect of such entry the Council and its Agents or Officers may plead leave and license and the Lease shall be conclusive evidence of such leave and license.

The charge for meals shall not exceed two shillings each person per meal.

All Liquors served with meals shall be subject to the usual additional charges.

The food shall be served up to the satisfaction of the Superintendent of the Cattle Yards and Abattoirs.

Breakfast from 7.45 a.m.
Lunch " 12 noon.

Any variation of these times must be approved by the Superintendent of the Cattle Yards and Abattoirs.

Briefly these conditions are :- The Council will lease the rooms before specified, including the furniture and fixtures therein for three years. The Lessee shall pay license fees, supply all table accessories, and cooking utensils, excepting the oven. Rent to be paid to the Superintendent of the Cattle Yards and Abattoirs quarterly in advance.

Town Clerk.

Town Clerk's office,
Geelong - 29th July, 1937.

