

# MINUTES

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## PLANNING COMMITTEE MEETING No. 240

**Thursday 24 April 2025  
6pm**

**City Hall, 57 Little Malop Street, Geelong**

**ALSO LIVE STREAMED ON THE CITY'S WEBSITE:**

**[www.geelongaustralia.com.au/meetings](http://www.geelongaustralia.com.au/meetings)**

**PANEL:**

Cr A Katos (Chair)  
Cr S Kontelj  
Cr R Nelson  
Cr E Kontelj  
Cr R Story  
Cr A Aitken

## **PRESENT**

**Present:** Cr A Katos (Chair)  
Cr S Kontelj  
Cr R Nelson  
Cr E Kontelj  
Cr R Story  
Cr A Aitken

**Council Officers:** Eskinder Ukubamichael, Senior Statutory Planner  
John Rush, Coordinator Statutory Planning  
Joanne Van Slageren, Manager City Development  
Jacquilyn Douglas, Manger Council and Corporate Governance

**Opening:** The Chair declared the meeting open at 6:01pm.

## **1. PROCEDURAL MATTERS**

### **Acknowledgement Of Country**

The Committee acknowledges the Wadawurrung People as the Traditional Owners of the Land, Waterways and Skies. We pay our respects to their Elders, past, present and emerging. We Acknowledge all Aboriginal and Torres Strait Islander people who are part of our Greater Geelong community today.

### **1.2. Introduce the Panel Members**

### **1.3. Apologies**

Cr T Sullivan, Cr M Cadwell, Cr C Burson, Cr E Wilkinson, Cr E Sinclair

### **1.4. Declarations of Conflicts Of Interest**

NIL

### **1.5. Confirmation of Minutes**

**Moved: Cr R Story**

**Seconded: Cr E Kontelj**

That the Minutes of the Planning Committee Meeting held on 27 March 2025 be confirmed.

**CARRIED**

## **2. MATTER(S) FOR CONSIDERATION**

### **2.1. PP-74-2024 – 78 and 80 Barrabool Road, Highton**

- Application No:** PP-74-2024
- Applicant:** Context Planning Pty Ltd
- Subject Land:** 78 and 80 Barrabool Road, Highton
- Zone:** General Residential Zone 4
- Overlays:** Special Building Overlay
- Existing Use:** Existing Single Dwelling on Each Parcel of Land
- Proposed Use:** Buildings and works associated with the construction of three (3) storey apartment building containing 21 dwellings, reduction in visitor carparking and alterations of access to a transport road zone 2

## Summary

- The subject site contains two (2) lots located at 78 Barrabool Road (described as Lot 1 LP on 58909) and 80 Barrabool Road (described as Lot 2 LP on 58909) in Highton.
- The site has a combined area of 1259m<sup>2</sup> with a frontage to Barrabool Road of 32.06m, a side street frontage of 28.56m to Montague Street and a 6.67m truncated corner at the intersection of the two streets.
- The subject site is within an established residential area of Highton, opposite the Highton Reserve on the southern side of Barrabool Road, and approximately 200 metres north-west of the Highton Village Neighbourhood Centre, 240m from public transport (at St Johns Church) and approximately 300m from the primary school.
- From planning scheme perspective the site is located in the General Residential Zone Schedule 4 which is for 'Urban increased housing diversity area' and there is a Special Building Overlay applicable. Of note Barrabool Road is a Transport Zone 2 (Principal Road network).
- Existing residential development within the immediate surroundings is generally characterised as single dwelling lots or single or double storey construction together with some medium density developments displaying a somewhat varied design detail and streetscape.
- Notable exceptions in the locality include a constructed three storey apartment building at 54 Barrabool Road, Highton as well as noting there are three storey apartment building approvals at both 16 Duggan Court and 34 Barrabool Road.
- The application submitted seeks a planning permit for the construction of a three storey apartment building containing 21 dwellings, a reduction in the visitor carparking requirement and alterations of access to a Transport Road Zone 2.
- The apartment building comprises a basement level car park with three (3) levels of apartments on top of the basement car park. The maximum height of the building is 10.47 metres excluding lift overrun and building services.
- Vehicle access would be provided to the basement car park via a proposed crossover from Barrabool Road on the south-eastern corner of the site. The main pedestrian access will be from Barrabool Road to a lobby area, with a lift and stair core towards the middle of the building.
- The application does not propose any walls on boundaries. Side and rear setbacks vary from 2.71m to 3.39m.
- The ground floor level contains six (6) two-bedroom and one (1) one-bedroom apartments, with access via a central corridor from the lift core and stairwell. It is noted that four (4) of the apartments that face Barrabool Road and Montague Street have additional pedestrian access from the road to their secluded private open space.
- The first floor contains seven (7) two-bedroom and one (1) one-bedroom apartments, with access via a central corridor from the lift core and stairwell.
- The second-floor level (top) contains five (5) two-bedroom and one (1) three-bedroom apartments, with access via a central corridor from the lift core and stairwell.
- Areas are set aside for landscaping within the respective Barrabool Road and Montague Street setbacks, adjacent to the northern rear and eastern side boundaries and in planter boxes on balconies.
- The proposed building would be constructed of a combination of brickwork, painted render wall, breeze blocks, metal cladding, aluminium window and door frames. Detailed elements would incorporate metal balustrade, clear glazing and obscure glazing. The proposed basement car park would be provided with a perforated metal roller door fronting Barrabool Road.

- Overall the application provides twenty-three (23) car spaces in the basement level. 22 of the spaces are for residents and there is 1 visitor space. The basement includes areas for storage and waste storage facilities.
- Based on this the application seeks to reduce the statutory car parking requirement for visitor car parking. The requirement is for four (4) car spaces where one (1) car space is proposed.
- The application also includes twenty-two (22) bike parks in the basement level and two (2) bike parks for visitors at ground level.
- The application was referred to internal Council departments and externally to the Department of Transport and Planning. All of these referrals supported the application with conditions.
- The application went to public notice and thirty-one (31) objections and 1 letter of support were received.
- A consultation meeting was not held because the applicant provided to submit a written response to objections which was circulated to objectors. As result no objections have been withdrawn.
- A summary of the matters raised within the objections received relate to matters associated with neighborhood character, building height and design, overlooking to adjoining habitable rooms and private open spaces, overshadowing, traffic and on street car parking impacts and the reduction in three visitor car parking spaces.
- The application has been assessed against the relevant Planning Policy Framework (PPF), Municipal Planning Strategy (MPS), Zone, Overlay, Particular and General Provisions of the Greater Geelong Planning Scheme and the objections lodged against the proposal.
- Of note Amendment VC267 to the Greater Geelong Planning Scheme came into effect on 6 March 2025 that changed the requirements for Clause 55. As this application was lodged before this date the application benefits from Clause 32.08-7 Transitional Provisions in that the Clause 55 applicable before 6 March 2025 continues to apply to this application.
- Based on the officer assessment, it is considered that the application accords with the Planning Scheme. It proposes a residential development that increases the density and diversity of housing on a site close to the activity centre of Highton.
- The location is well serviced and in close proximity to retail, education, recreation and the alternative transport network. The building height, bulk, form and material detail provides an appropriate design response based on the policy considerations and given the advantages of the sites location, subject to modest variations to relevant residential development standards.
- Strategically the proximity of the subject site to the neighbourhood centre supports a higher density of development within the street than what has occurred to date. The proposed development represents a built form that is considered to respond to the evolving character of the area and is consistent with the intent expressed in Clause 16.01-1L-02 to support evolution to more intensive development with visually interesting built forms.
- The design response also accords with the purpose of the "GRZ4" to provide dwellings at increased densities and diversity. The design response is consistent with the principles of consideration of neighbourhood character where policy supports housing at increased densities.
- Given the It is respectfully recommended that the Council issue a Notice of Decision to Grant a Planning Permit for Buildings and Works Associated with the Construction of 21 Dwellings (three storey Apartment Building), Reduction in Visitor Carparking and Alterations of Access to a Transport Road Zone 2 at 78 and 80 Barrabool Road, Highton in accordance with the plans and documentation submitted with the application and subject to the following conditions included in this report.

## Recommendation

That the Responsible Authority having considered all matters which the Planning and Environment Act 1987, requires it to consider decides to issue a Notice of Decision to Grant a Planning Permit for Buildings and Works Associated with the Construction of 21 Dwellings (three storey Apartment Building), Reduction in Visitor Carparking and Alterations of Access to a Transport Road Zone 2 in accordance with the plans and documentation submitted with the application subject to the following recommended conditions.

**Moved: Cr R Story**

**Seconded: Cr S Kontelj**

**LOST**

## Amended Plans

1. Prior to works commencing, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and must be generally in accordance with the plans submitted on 20/01/2025 but modified to show:
  - a) Level 2 balconies facing north and east to avoid direct views into the secluded private open space of an existing dwelling to the north and east in compliance with Standard B22 at Clause 55 of the Greater Geelong Planning Scheme. In addressing this matter, cross sections must show a person up flush against the planter boxes.
  - b) A minimum 1.8m high fence on the north and east external lot boundaries.
  - c) A 'No Stopping' zone signs to be installed between Montague Street and the western side of the proposed Barrabool Road vehicle crossing.
  - d) The basement car park ramp designed to include a vertical curve instead of a flat section.
  - e) The Finished Floor Level (FFL) of the proposed Ground Floor must be no lower than 25.70 metres Australian Height Datum (AHD) as well as at least 150 mm higher than its adjoining peripheral finished ground surface.
  - f) Initiatives contained within the submitted Sustainability Management Plan (SMP) report along with the proposed changes, including:
    - i. A clear commitment on the plans to achieving a minimum 6.5 Star average energy rating as per the submitted BESS report.
    - ii. Site and elevation plans showing the green walls and façade area and preliminary investigation into plant selection, substrate materials and structural support required as per the submitted BESS report.
    - iii. The plans annotated to show what will be the maximum illumination power density of each component for this development as per the submitted BESS report.
    - iv. A tap to each balcony and courtyard to encourage food production and urban greening as per the submitted BESS report.
  - g) A Landscape Plan in accordance with Condition 14 of this permit.
  - h) A Tree Protection Management Plan in accordance with Condition 15 of this permit.

### **Endorsed Plans**

2. The development as shown on the endorsed plan(s) must not be altered without the written consent of the Responsible Authority.
3. All works must be undertaken in accordance with the endorsed plan(s), Sustainable Management Plan (SMP) report and stormwater management plan to the satisfaction of the Responsible Authority. No alterations to these plans may occur without the written consent of the Responsible Authority.
4. The approved Tree Protection Management Plan must not be amended or altered without the consent of the Responsible Authority.
5. All waste must be collected in accordance with the endorsed Waste Management Plan. The Waste Management Plan must not be amended or altered without the written consent of the Responsible Authority.

### **No Reticulated Gas**

6. Any new dwelling allowed by this permit must not be connected to a reticulated gas service (within the meaning of clause 53.03 of the relevant planning scheme). This condition continues to have force and effect after the development authorised by this permit has been completed.

### **Stormwater Management**

7. The site stormwater system must be designed and installed such that the site stormwater discharge is not increased by the proposed development. An appropriate on-site detention system designed in accordance with the Infrastructure Design Manual.

### **Floodplain Manager**

8. The Finished Surface Level (FFL) of the proposed apex of the driveway-entry to the basement must be no lower than 25.30 metres Australian Height Datum (AHD).
9. The top of the retaining walls associated with the driveway, basement and the building in general must be at least 300 mm higher than their adjoining external ground surface.
10. Any ventilation/louvre opening for the basement must be at least 300mm above the external ground surfaces.
11. The basement floor and walls must be constructed using flood resilient materials at least up to 150 mm above the basement floor level and any electrical fittings must be located above this height from the floor.
12. Any new fences and gates within the Special Building Overlay mapped area must have a minimum 150 mm ground clearance or 25% opening to 450 mm height from the ground. The minimum clearance above any built/smooth surfaces (eg, paved, concrete, decks etc) is 100mm.
13. Any new decks within the Special Building Overlay mapped area must be non-obstructive to overland flows, that is, unenclosed type to allow passage of flood water underneath.

### **Prior to Works Commencing**

14. Prior to the works commencing, a landscape plan prepared by a suitably qualified or experienced, person to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. The plan(s) must be drawn to scale and show:
  - a) Details of surface finishes of pathways and driveways.
  - b) A planting schedule of all proposed trees, shrubs, ground covers and planter boxes including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.
  - c) Information regarding xeriscaping and/or the use of drought tolerant species as per the submitted BESS report.
  - d) Landscaping and planting within all open areas of the site.
  - e) Canopy cover as required by Tables B6 and B7 of Standard B38 of Clause 55.07-4 Landscaping objective of the Greater Geelong Planning Scheme.
15. Prior to works commencing, a Tree Protection Management Plan must be submitted to and approved by the Responsible Authority. The Tree Protection Management Plan must be prepared by a suitably qualified arborist and must be informed by the Arborist Impact Assessment Report by T&T Reports and Consulting, prepared by Ben Thomas, dated 16 August 2024, and must include all:
  - a) council-owned street trees;
  - b) privately owned trees; and,
  - c) trees owned by other parties that are located within 4 metres of the property boundary.
16. Prior to the works commencing including any demolition or excavation works, Tree Protection Fencing must be installed and maintained until works are completed to the satisfaction of the Responsible Authority. All works within the nominated Tree Protection Zones must be:
  - a) Carried out in accordance with Australian Standard 4373–2007 Pruning of amenity trees and Australian Standard 4970–2009 Protection of trees on development sites.
  - b) Overseen by a suitably qualified, level-5 arborist.
  - c) Carried out to the satisfaction of the Responsible Authority by suitably trained and qualified arboricultural staff.

Works encroaching within the nominated Tree Protection Zones must not be undertaken without the written consent of the Responsible Authority.

### **Prior to the Occupation of the Dwellings**

17. Prior to the occupation of the dwellings, the developer must:

- a) Construct the site stormwater system including separate connection for each dwelling into the Side Entry Pit in Barrabool Road, or other nominated point/s as approved by the Responsible Authority. The stormwater connection must be in accordance with City of Greater Geelong Standard Drawings.
- b) Construct vehicle crossings in accordance with the requirements and standards of the City of Greater Geelong.
- c) Ensure any proposed vehicle crossing has a satisfactory clearance to any existing crossover, side-entry pit, power, lighting or telecommunication pole, manhole cover or marker, fire hydrant or street tree. Any relocation, alteration or replacement required shall be in accordance with the requirements of the relevant Authority and shall be at the applicant's expense.
- d) Remove any redundant vehicle crossings with kerb and channel and the footpath/nature strip area reinstated to match existing construction in the street.
- e) Construct and drain the basement car park including accessways, surface with an all-weather sealed coat and linemark the car and accessways in accordance with the endorsed plans.
- f) Complete the landscaping works in accordance with the endorsed plans.
- g) Complete all buildings and works in accordance with the endorsed plans.

All to the satisfaction of the Responsible Authority.

18. Prior to the occupation of the development, a report from a suitably qualified person or company, must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm all measures specified in the Sustainability Management Plan (SMP) have been implemented in accordance with the endorsed plans.

### **Department of Transport and Planning**

19. Before the development starts, the following works must be undertaken to the satisfaction of the Head, Transport for Victoria and the Responsible Authority and at no cost to the Department of Transport and Planning:

- a) To the satisfaction of the Responsible Authority, parking restriction signs must be installed on the approach to the proposed accessway at the south and north side of Barrabool Road.

20. Before the development is occupied, the accessway at Barrabool Road must be constructed to the satisfaction of the Head, Transport for Victoria and the Responsible Authority and at no cost to the Department of Transport and Planning. This must include:

- a) Widening the crossover to be 6 meters wide.
- b) Crossover splay to address turning traffic to the site.

## Expiry

21. This permit as it relates to the development of buildings will expire if one of the following circumstances applies:
- a) The development of the building(s) hereby approved has not commenced within two (2) years of the date of this permit.
  - b) The development of the building(s) hereby approved is not completed within four (4) years of the date of this permit.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires; or

- c) Within six (6) months after the permit expires where the use or development has not yet started; or
- d) Within twelve (12) months after the permit expires, where the development allowed by the permit has lawfully commenced before the permit expiry.

## Notes

1. In the instance that minor pruning of a street tree is anticipated, the applicant must contact Council's Parks Planning Officers on 5272 5272 ([treeplanning@geelongcity.vic.gov.au](mailto:treeplanning@geelongcity.vic.gov.au)) to lodge a request and provide adequate notice.
2. A pre-commencement meeting with Council's engineering department is required to be undertaken prior to works starting. To organise this meeting please call 5272 4426.
3. Construction of the site stormwater connection/s is to be inspected by Council Representative prior to any backfilling. An appropriate fee equivalent to 3.25% of total cost of civil works, excluding GST (a minimum fee of \$100 applies if the 3.25% amount is less than \$100), is to be paid to Council for inspection. Relevant evidential documentation of the cost is to be provided.
4. All internal property drainage must be designed and constructed to satisfy AS/NZS 3500.
5. A Vehicle Crossing Permit must be obtained prior to commencement of works.
6. Any applicable Council permit(s) must be taken out prior to the commencement of works within the road reserve.
7. Any earth filling should be kept to a minimum on the property to ensure that existing flow paths are not impacted by the proposed works.

## Resolution

That the Responsible Authority having considered all matters which the Planning and Environment Act, 1987 requires it to consider, decides to refuse to grant a planning permit for Buildings and works associated with the construction of three storey apartment building containing 21 dwellings, reduction in visitor carparking and alterations of access to a transport road zone 2 at 78 and 80 Barrabool Road, Highton on the following grounds:

**Moved: Cr R Nelson**

**Seconded: Cr E Kontelj**

**CARRIED**

1. The proposal is not consistent with Clause 15.01-2S Building Design and Clauses 15.01-5S and 15.01-5L Neighbourhood Character insofar as the development fails to contribute positively to the local context, nor suitably manage the impact of urban change on the existing neighbourhood or respond to its context.
2. The proposal is not consistent with the objectives of Clause 16.01-1L-02 Increased Housing Diversity Areas as the proposed built form and massing does not ensure that the density, mass and scale of the residential development makes a positive architectural and urban design contribution to the increased housing diversity area.
3. The proposal is not consistent with the purpose of Clause 32.08 General Residential Zone to encourage development that responds the neighbourhood character of the area.
4. The proposal fails to adequately respond to the objectives of Clause 55, including:
  - a) Clause 55.02-1: Neighbourhood character objective
  - b) Clause 55.02-2: Residential policy objective
  - c) Clause 55.05-3: Daylight to new windows objective
  - d) Clause 55.05-5: Solar access to open space objective
  - e) Clause 55.06-2: Front fence objective
  - f) Clause 55.07-1: Energy efficiency objective
  - g) Clause 55.07-14: Windows objective
5. The proposal fails to provide an appropriate number of car parking spaces as required by Clause 52.06 Car parking provisions, having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
6. The proposal is not consistent with Clause 65 of the Greater Geelong Planning Scheme, including the orderly planning of the area, the effect on the amenity of the area, and the density of the proposed development.

## PLANNING REPORT

### PERMIT TRIGGERS

Planning Scheme Clause	Matter for which the permit has been granted
32.08-7	Construct two or more dwellings on a lot
44.05-2	Construct a building or construct or carry out works
52.06-3	Reduce the number of car parking spaces
52.29-2	Create or alter access to a road in a Transport Zone 2

### DEFINITIONS

Pursuant to Clause 73.01 of the Planning Scheme, an apartment is defined as:

*A dwelling located above the ceiling level or below the floor level of another dwelling and is part of a building containing two or more dwellings.*

Pursuant to Clause 73.03 of the Planning Scheme, a **dwelling** is defined as:

*A building used as a self-contained residence which must include:*

- a) *a kitchen sink;*
- b) *food preparation facilities*
- c) *a bath or shower; and*
- d) *a closet pan and wash basin.*

*It includes outbuildings and works normal to a dwelling.*

Pursuant to Clause 73.04 of the Planning Scheme, a dwelling is nested in the Accommodation group.

### RESTRICTIVE COVENANT OR SECTION 173 AGREEMENT

The subject site is not burdened by a Restrictive Covenant or Section 173 Agreement.

### OFFICER DIRECT OR INDIRECT INTEREST

No officer involved in the preparation of this report declared a general or material conflict of interest.

### SITE/LOCALITY

The subject sites contain two lots located at 78 Barrabool Road (described as Lot 1 LP on 58909) and 80 Barrabool Road (described as Lot 2 LP on 58909) in Highton. The site has a combined area of 1259m<sup>2</sup> with a frontage to Barrabool Road of 32.06m, 28.56m to Montague Street and 6.67m truncated corner at the intersection of the two streets. Both lots are developed with a single storey dwelling (figure 1). The site falls diagonally from 27m AHD along the northwestern corner of the subject site to 25m AHD towards the southeastern corner of the lot (figure 2). The subject sites, adjacent and nearby allotments are zoned General Residential Schedule 4 with Public Park and Recreation on the southern side of Barrabool Road (figure 3) and are partially covered by the Special Building Overlay (figure 4).

The subject site is located within the Highton Shopping Centre Increased Housing Diversity Area (IHDA) (figure 5).

Adjoining dwellings are described as follows:

- East side – single storey dwellings being part of a 10 dwelling development setback 8m from Barrabool Road. The dwellings are hipped roof and made with brick veneer finish. Three of the dwellings are located approximately 2.8m from the common boundary with the subject site, with the dwelling fronting Barrabool Road built with a garage on the boundary. Private open space of these dwellings and 5 windows face the common boundary.
- North side – single storey dwellings being part of an 8 townhouse development setback 8.2m from Montague Street. The dwellings are gable roofed and made with concrete block finish. Four of the dwellings are setback 3.7m from the common boundary with the subject site. Private open space of four of the dwellings and 8 habitable windows face the common boundary.
- South side – Highton Reserve and Active Open Space which is a public park and recreation area that has a football field/cricket pitch, tennis courts, a bowls club and children's park is located across Barrabool Road.
- West side – Highton Seniors Community Centre is located across Montague Street.

In the broader context, the subject site is located (figure 6) within 270m from the Highton Village Shopping Centre, 240m from public transport, 333m from a primary school and is located opposite parks and recreation areas.



Figure 1 – Subject site aerial picture (sourced from Places Weave).



Figure 2 – Contour of the subject site (sourced from Places Weave).

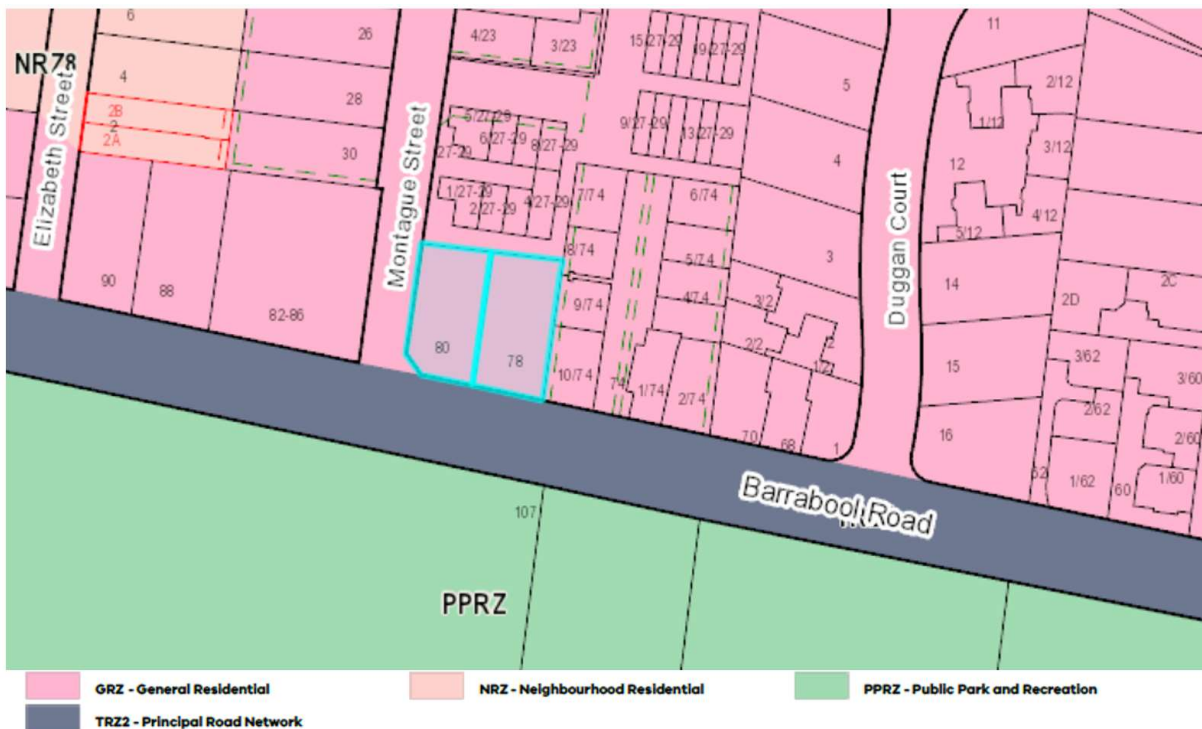


Figure 3 – Zone map (sourced from VicMap).



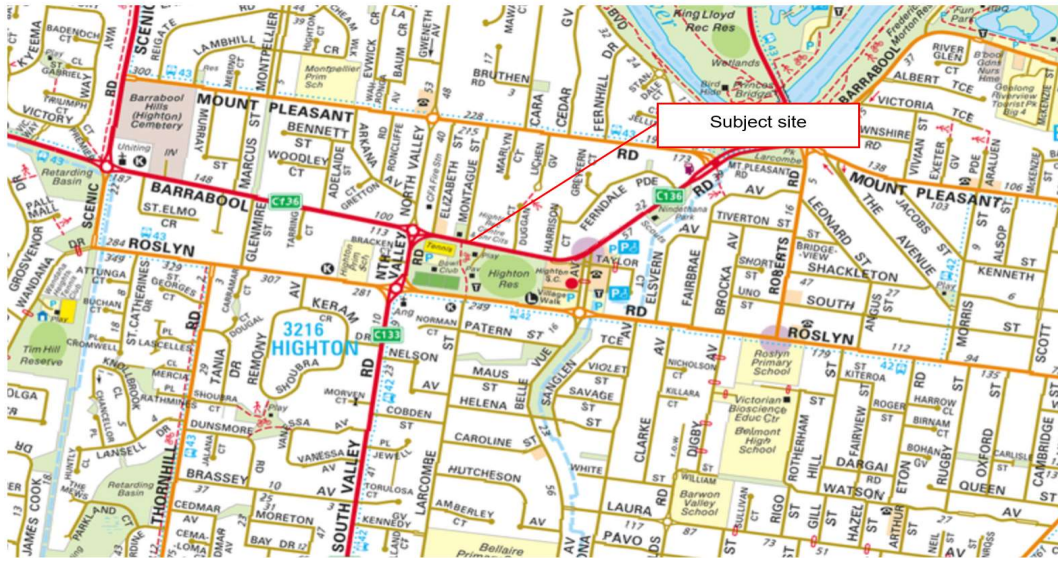


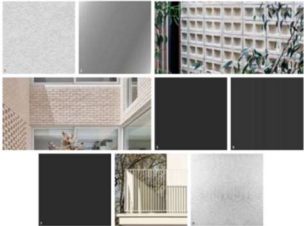
Figure 6 – Locality map (sourced from Melway).

### PROPOSAL

This application seeks a planning permit for the construction of a 3 storey building containing 21 apartments, a reduction in visitor carparking and alteration of access to a road in a Transport Zone 2.

The proposed development consists of a basement level car park with three levels of apartments on top of the basement. The specific details of the proposal are summarized as follows (figures 7- 13):

Building Type and Other features	Characteristics
Basement Level (figure 7)	<ul style="list-style-type: none"> <li>• One level of basement with 23 car parking spaces (22 resident spaces and 1 visitor space).</li> <li>• 21 storages spaces of 6m<sup>3</sup>.</li> <li>• Communal bin storage.</li> <li>• 5.5 metre wide ramp to a double width crossover to Barrabool Road.</li> <li>• 22 bike parks.</li> <li>• The basement is setback 1 metre from Barrabool Road, 2.5 metres from Montague Street, 2m from the intersection of the streets, 2.5 metres from east boundary and 3m from north boundary.</li> </ul>
Ground level (figure 8)	<ul style="list-style-type: none"> <li>• 6 two-bedroom (with two bathroom) apartments and a one-bedroom apartment.</li> <li>• Private open spaces (in the form of courtyards) of varying sizes from 20m<sup>2</sup> to 76m<sup>2</sup>.</li> <li>• Setback of 3.39m from northern boundary, 2.71m from eastern boundary, 4.64m from Barrabool Road and 3.15m from Montague Street.</li> <li>• The ground floor provides the primary pedestrian access to the building form Barrabool Road.</li> <li>• Direct access to the courtyards of the three Barrabool Road and Montague Street fronting apartments.</li> <li>• 2 visitor bike parks.</li> </ul>
Level 1 (figure 9)	<ul style="list-style-type: none"> <li>• Seven two-bedroom apartments and a one-bedroom apartment.</li> <li>• Setback 3.39m from the northern and 3m from eastern boundaries, 3.875m from Barrabool Road and 3.15m from Montague Street.</li> <li>• Private open spaces (in the form of balcony) of varying sizes from 8m<sup>2</sup> to 10m<sup>2</sup>.</li> </ul>
Level 2 (figure 10)	<ul style="list-style-type: none"> <li>• Five two-bedroom apartments and one three-bedroom apartment.</li> <li>• Setback 5.26m from the northern and 4.9m from eastern boundaries, 6.115m from Barrabool Road and 5.2m from Montague Street</li> <li>• Private open spaces (in the form of balcony) of varying sizes from 15m<sup>2</sup> to 35m<sup>2</sup>.</li> </ul>
Roof terrace (figure 11)	Communal area of 72m <sup>2</sup> and services
Height	Maximum building height of 10.47m excluding lift overrun/building services
Site coverage	805m <sup>2</sup> over 1259m <sup>2</sup> (64%)
Garden area	440.65m <sup>2</sup> over 1259m <sup>2</sup> (35%) - 440.65m <sup>2</sup> or 35% has been provided
Permeability	298m <sup>2</sup> over 1259m <sup>2</sup> (24%)

<p>Fence</p>	<ul style="list-style-type: none"> <li>• Barrabool Road – up to 2.18m and of a combination of render and powder coated metal gates and balustrade</li> <li>• Montague Street – ranging between 1.45m and 1.68m and of a combination of render and powder coated metal gates and balustrade</li> <li>• Side east – 1.7m paling fence</li> <li>• Side north – 1.7m paling fence</li> </ul>
<p>Colour and material</p>	 <ol style="list-style-type: none"> <li>1 RENDERED PAINT FINISH COLOUR: WHITE</li> <li>2 GLAZING CLEAR</li> <li>3 BREEZEBLOCKS COLOUR: WHITE</li> <li>4 BRICK COLOUR: CHAMPAGNE</li> <li>5 ALUMINIUM WINDOW FRAME POWDERCOAT FINISH COLOUR: MONUMENT</li> <li>6 METAL CLADDING COLOUR: MONUMENT/BLACK</li> <li>7 METAL BALUSTRADE COLOUR: MONUMENT/BLACK</li> <li>8 METAL ENTRY GATES &amp; BALUSTRADE POWDERCOAT FINISH COLOUR: WHITE</li> <li>9 OBTURED GLAZING</li> </ol>



and Environment Act 1987, used for any purpose which right legislation



Figure 9 – Level one (sourced from application material).

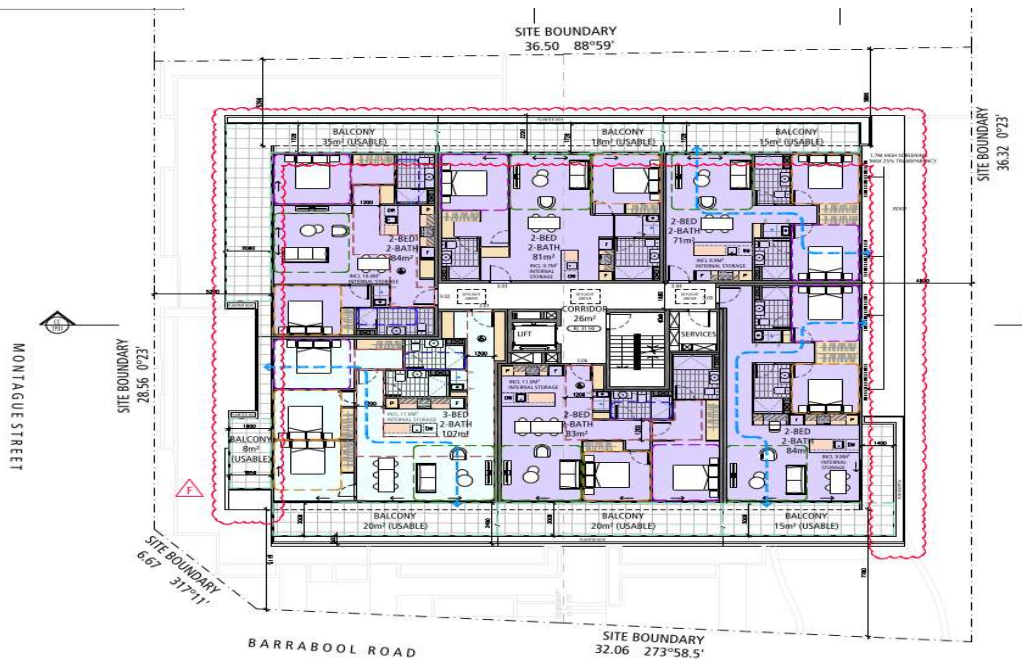


Figure 10 – Level two (sourced from application material).

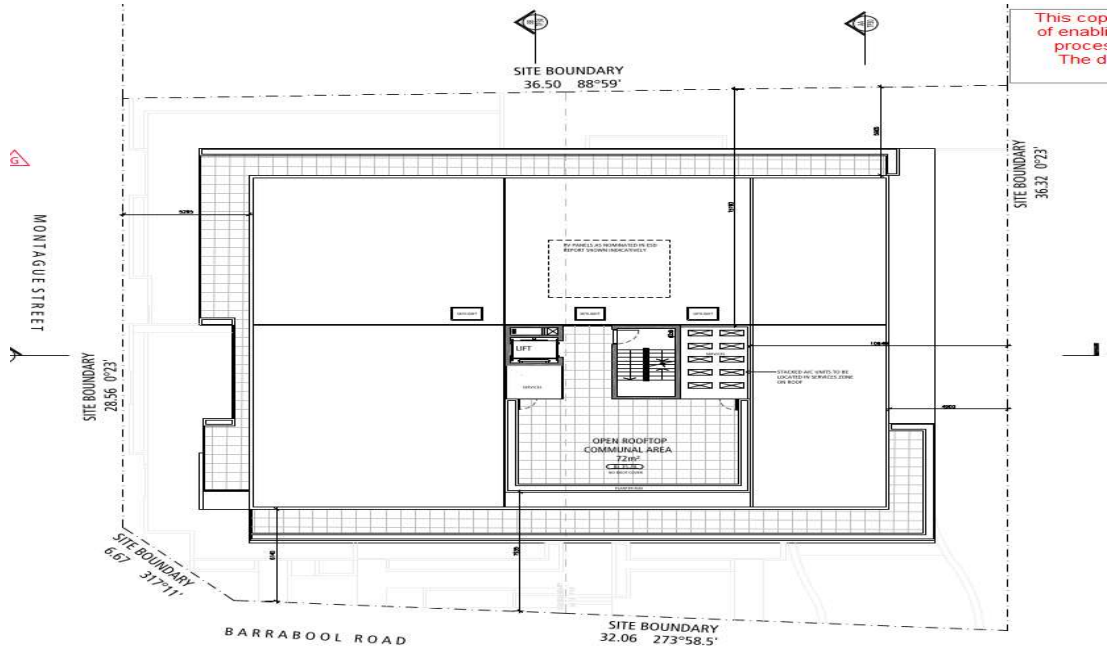


Figure 11 – Roof terrace (sourced from application material).



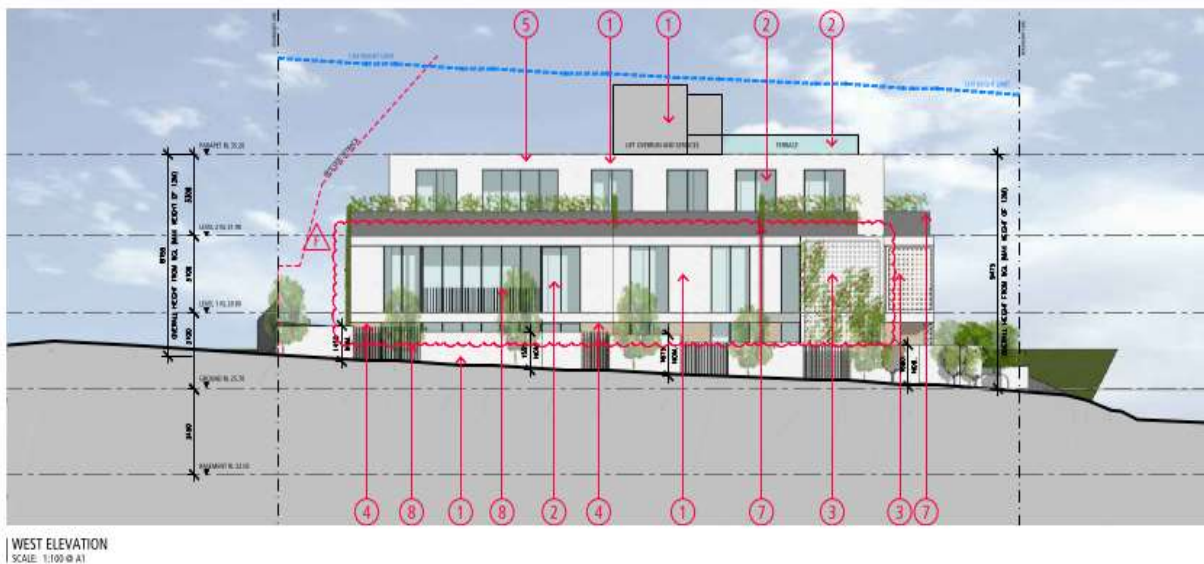


Figure 13 – South and west elevation (sourced from application material).

**PERMIT/SITE HISTORY**

The following site history is relevant to the application:

PP-1176-2016 – This was an application for Use and Development of a Takeaway Food Premises (drive thru coffee) and associated Internally Illuminated Business Identification Signage and access to a Road Zone Category 1.

Council at its Planning Committee meeting refused to grant a permit.

## REFERRALS

The following referrals were undertaken:

### SECTION 55

#### **DETERMINING AUTHORITY**

<b>Authority:</b>	<b>Department of Transport and Planning</b>
<b>Response:</b>	<p><b><u>Supportive</u></b></p> <p>The Head, Transport for Victoria has considered this application and does not object if the permit subject to the following conditions:</p> <ol style="list-style-type: none"> <li>1. Before the development starts the following works must be undertaken to the satisfaction of the Head, Transport for Victoria and the Responsible Authority and at no cost to the Department of Transport and Planning:             <ol style="list-style-type: none"> <li>a) To the satisfaction of the Responsible Authority, parking restriction signs must be installed on the approach to the proposed accessway at the south and north side of Barrabool Road.</li> </ol> </li> <li>2. Before the development is occupied the accessway at Barrabool Road must be constructed to the satisfaction of the Head, Transport for Victoria and the Responsible Authority and at no cost to the Department of Transport and Planning. This must include:             <ol style="list-style-type: none"> <li>a) Widening the crossover to be 6 meters wide.</li> <li>b) Crossover splay to address turning traffic to the site.</li> </ol> </li> </ol>
<b>Officer Comment:</b> The conditions will be included on any permit issued.	

#### **RECOMMENDING AUTHORITY**

<b>Authority:</b>	<b>Floodplain Management Authority – SBO</b>
<b>Response:</b>	<p><b><u>Supportive</u></b></p> <p>Pursuant to <i>Section 56</i> of the <i>Planning and Environment Act 1987</i> Engineering Services (SBO as Floodplain Manager), <b>does not object</b> to the granting of a permit, subject to the following conditions:</p> <ol style="list-style-type: none"> <li>1. Prior to the commencement of the development, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be generally in accordance with the plans submitted with the application but modified to show:             <ul style="list-style-type: none"> <li>• The Finished Floor Level (FFL) of the proposed Ground Floor must be no lower than 25.70 metres Australian Height Datum (AHD) as well as at least 150 mm higher than its adjoining peripheral finished ground surface.</li> </ul> </li> <li>2. The Finished Surface Level (FFL) of the proposed apex of the driveway-entry to the basement must be no lower than 25.30 metres Australian Height Datum (AHD).</li> <li>3. The top of the retaining walls associated with the driveway, basement and the building in general must be at least 300 mm higher than their adjoining external ground surface.</li> <li>4. Any ventilation/louvre opening for the basement must be at least 300mm above the external ground surfaces.</li> <li>5. The basement floor and walls must be constructed using flood resilient materials at least up to 150 mm above the basement floor level and any electrical fittings must be located above this height from the floor.</li> <li>6. Any new fences and gates within the SBO area must have minimum 150 mm ground clearance or 25% opening to 450 mm height from the ground. The minimum clearance above any built/smooth surfaces (eg, paved, concrete, decks etc) is 100mm.</li> <li>7. Any new decks within the SBO area must be non-obstructive to overland flows, that is, unenclosed type to allow passage of flood water underneath.</li> </ol>

**Officer Comment:**

Generally, the suggested conditions will be included on any permit issued.


It is noted that the latest plan has FFL of 25.7m highlighted in yellow below:



<b>Department:</b>	<b>Engineering Services</b>
<b>Response:</b>	<p><b><u>Supportive</u></b></p> <p>The applicant has requested for vertical curve ramp design and 'No Stopping' zone signage required to delineate the new no stopping zones are deferred to a Amended plan condition of permit.</p> <p><b>Condition 1 – Amended Plans:</b></p> <ol style="list-style-type: none"> <li>1. Prior to the commencement of works / commencement of use, and unless otherwise approved in writing by the Responsible Authority, amended plans shall be submitted to Planning for Endorsement that show:             <ol style="list-style-type: none"> <li>a) A 'No Stopping' zone to be installed between Montague Street and the western side of the proposed Barrabool Road vehicle crossing;</li> <li>b) The ramp should be designed to include a vertical curve instead of a flat section; all to the satisfaction of the Responsible Authority.</li> </ol> </li> </ol> <p><b>Drainage &amp; Vehicular Access:</b></p> <ol style="list-style-type: none"> <li>2. Prior to the occupation of the dwellings, the developer must:             <ol style="list-style-type: none"> <li>a) Construct the site stormwater system including separate connection for each unit into the Side Entry Pit in Barrabool Road, or other nominated point/s as approved by the Responsible Authority. The stormwater connection must be in accordance with City of Greater Geelong Standard Drawings.</li> <li>b) Construct vehicle crossings in accordance with the requirements and standards of the City of Greater Geelong.</li> <li>c) Any proposed vehicle crossing shall have satisfactory clearance to any existing crossover, side-entry pit, power, lighting or telecommunication pole, manhole cover or marker, fire hydrant or street tree. Any relocation, alteration or replacement required shall be in accordance with the requirements of the relevant Authority and shall be at the applicant's expense.</li> <li>d) Remove any redundant vehicle crossings with kerb and channel and the footpath/nature strip area reinstated to match existing construction in the street; all to the satisfaction of the Responsible Authority.</li> </ol> </li> </ol> <p><b>Car Parking</b></p> <ol style="list-style-type: none"> <li>3. Prior to the occupation of the dwellings / statement of compliance, the developer must construct the car park including accessways, surface with an all-weather sealed coat and linemark the car and accessways in accordance with the endorsed plans to the satisfaction of the Responsible Authority.</li> <li>4. The car park must be linemarked and be in accordance with the endorsed plan and to the satisfaction of the Responsible Authority.</li> </ol> <p><b>Stormwater Quality</b></p> <ol style="list-style-type: none"> <li>5. The site stormwater system must be designed and installed such that;             <ol style="list-style-type: none"> <li>a) The site stormwater discharge is not increased by the proposed development. An appropriate on site detention system designed in accordance with the Infrastructure Design Manual may be required; to the satisfaction of the Responsible Authority.</li> </ol> </li> </ol>
<b>Officer Comment:</b> Generally, the suggested conditions will be included on any permit granted.	

<b>Department:</b>	<b>ESD Response</b>
<b>Response:</b>	<p><b><u>Supportive</u></b></p> <p>The application was supported and standard conditions were suggested.</p> <ol style="list-style-type: none"> <li>1. Before the use and development commences, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions. The plans must be generally in accordance with the plans received 29/8/2024 but modified to show:             <ol style="list-style-type: none"> <li>1. Initiatives contained within the SMP report along with the proposed changes, including:                 <ol style="list-style-type: none"> <li>i. Information regarding xeriscaping and/or the use of drought tolerant species will need to be added to the landscape plan and architectural plan.</li> <li>ii. The Applicant can opt to provide the NatHERS certificates for all dwelling prior to occupancy. As a compromise, however, include a clear commitment in the plan to achieving a minimum 6.5 Star average energy rating, as committed in the BESS report.</li> <li>iii. Evidence must be provided such as site plans showing the green walls and façade area and Preliminary investigation into plant selection, substrate materials and structural support required to claim BESS credit points.</li> <li>iv. The Applicant needs to clearly annotate in the Development Plans with a note to say what will be the maximum illumination power density of each component for this development.</li> <li>v. Tap will be provided at each balcony to encourage food production and urban greening. This initiative must be designed in plans.</li> </ol> </li> </ol> </li> <li>2. Prior to the issue of occupancy permit for the development/dwellings or issue of a Statement of Compliance, whichever comes first, a report from the author of Sustainability Management Plan (SMP) approved under this permit, or similarly qualified person or company, must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm all measures specified in the Sustainability Management Plan (SMP) have been implemented in accordance with the approved Plan.</li> <li>3. All works must be undertaken in accordance with the submitted Plan, ESD report (SMP) and stormwater management plan to the satisfaction of the Responsible Authority. No alterations to these plans may occur without the written consent of the Responsible Authority.</li> </ol>
<b>Officer Comment:</b> Generally, the suggested conditions will be included on any permit granted.	

<b>Department:</b>	<b>Parks</b>
<b>Response:</b>	<p><b><u>Supportive</u></b></p> <p><u>Tree Protection Management Plan</u></p> <p>Prior to the commencement of the development, a Tree Protection Management Plan must be submitted to and approved by the Responsible Authority. The Tree Protection Management Plan must be prepared by a suitably qualified arborist and must be informed by the Arborist Impact Assessment Report by T&amp;T Reports and Consulting, prepared by Ben Thomas, dated 16 August 2024, and must include all:</p> <ul style="list-style-type: none"> <li>• council-owned trees</li> <li>• privately owned trees and</li> <li>• trees owned by other parties that are located within 4 metres of the property boundary.</li> </ul> <p>When approved the Tree Protection Management Plan and its recommendations will be endorsed and will then form part of the permit. The approved Tree Protection Management Plan must not be amended or altered without the consent of the Responsible Authority.</p> <p>Prior to the commencement of any works at the site (including demolition and excavation whether or not a planning permit is required), a letter of engagement must be provided to us (as the Responsible Authority) from the Project Arborist selected to oversee all relevant tree protection works. In accordance with Australian Standard 4970-2009 <i>Protection of trees on developments sites</i> the Project Arborist must be an appropriately experienced and qualified professional (minimum AQF Level 5 Arborist).</p> <p><u>Tree Protection Zones</u></p> <p>Prior to the works commencing (including any demolition works), Tree Protection Fencing must be installed and maintained until works are completed to the satisfaction of the Responsible Authority.</p> <p>All works within the nominated Tree Protection Zones must be:</p> <ul style="list-style-type: none"> <li>• carried out in accordance with Australian Standard 4373-2007 <i>Pruning of amenity trees</i> and Australian Standard 4970-2009 <i>Protection of trees on development sites</i></li> <li>• overseen by a suitably qualified, level-5 arborist</li> <li>• carried out to the satisfaction of the Responsible Authority by suitably trained and qualified arboricultural staff.</li> </ul> <p>Works encroaching within the nominated Tree Protection Zones must not be undertaken without the written consent of the Responsible Authority.</p> <p>Prior to occupation of the development/the issue of Statement of Compliance, a written statement from the Project Arborist must be submitted to the Responsible Authority that certifies that the following items have been addressed as part of the works:</p> <ul style="list-style-type: none"> <li>• Installation and correct placement of tree protection fencing 2 weeks prior to works commencing and for the duration of works</li> <li>• Attendance during Tree Protection Zone incursions</li> <li>• Adherence to Australian Standard 4970-2009 <i>Protection of trees on development sites</i></li> </ul>
<b>Officer Comment:</b>	Generally, the suggested conditions will be included on any permit granted.

<b>Department:</b>	<b>Urban Design</b>
<b>Response:</b>	<p><b><u>Supportive</u></b></p> <p>Urban Design team has reviewed the updated plan set and provided the following feedback:</p> <ul style="list-style-type: none"> <li>- There has been significant improvement in the articulation of the blank wall along Montague Avenue. However, we require clarification regarding the entrance to the open space of the north-western apartment from Montague Avenue, given the approximate 1-meter level difference between the entrance and the open space.</li> </ul>  <ul style="list-style-type: none"> <li>- The render at this location needs to be adjusted by removing the plants shown at the entry gate.</li> <li>- A detailed Landscape Plan required to complete the assessment, especially given the extensive planting proposed.</li> <li>- Additional information is needed regarding the planter boxes and the usable space on the balconies considering there will be air conditioning units and landscaping.</li> </ul> <p><b><u>Standard Conditions</u></b></p> <p>Prior to commencement of works, amended plans based on those submitted in the application to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans should be modified from the those submitted in the application to show the following:</p> <ol style="list-style-type: none"> <li>a. A detailed Landscape plan must be submitted for approval of the responsible authority, including but not limited to the following details:             <ol style="list-style-type: none"> <li>i. A plant schedule specifying different species,</li> <li>ii. Details of planter boxes and usable space on balconies.</li> </ol> </li> <li>b. A sectional drawing illustrating the entrance from Montague Avenue to the north-western apartment is also required.</li> </ol>
<b>Officer Comment:</b>	Generally, the suggested conditions will be included on any permit granted.

<b>Department:</b>	<b>Waste</b>
<b>Response:</b>	<p><b><u>Supportive</u></b></p> <p>Shared bins using 240 litre non standard is satisfactory. All dwellings will each pay the full Council Waste and Recycling rate. Presentation space is adequate for Barrabool Road, however No Standing signs must be installed preventing parking along the frontage on collection days. Bins must be returned to the storage area inside the property as soon as possible after collection has occurred.</p> <p>The application was supported subject to conditions requiring the waste management plan to be endorsed to form part of the permit.</p>
<b>Officer Comment:</b> Noted. Generally, the suggested conditions will be included on any permit granted.	

**AMENDMENT OF THE PROPOSAL PRIOR TO PUBLIC NOTIFICATION**

The applicant made a request to amend the application pursuant to Section 50 of the Planning and Environment Act 1987 on 02 September 2024. Council accepted the amendment. The amendment made the following changes to the application:

- Redesign of the development to provide for the ongoing health of the street trees and trees on adjoining land.
- Changes to basement parking entry location.
- Provision for collection of waste from within basement.
- Change in planter box design and massing on the eastern side of the development.

**PUBLIC NOTIFICATION**

The application is not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act and pursuant to Section 52 of the Planning and Environment Act 1987 the following forms of advertising were undertaken:

- Notices were sent to owners and occupiers of adjoining land (including opposite)
- A2 signs were placed on the land. 31 objections and 1 letter of support have been lodged with Council. The location of objectors in the immediate locality is shown on figure 14.

31 objections and 1 letter of support have been lodged with Council. The location of objectors in the immediate locality is shown on figure 14.

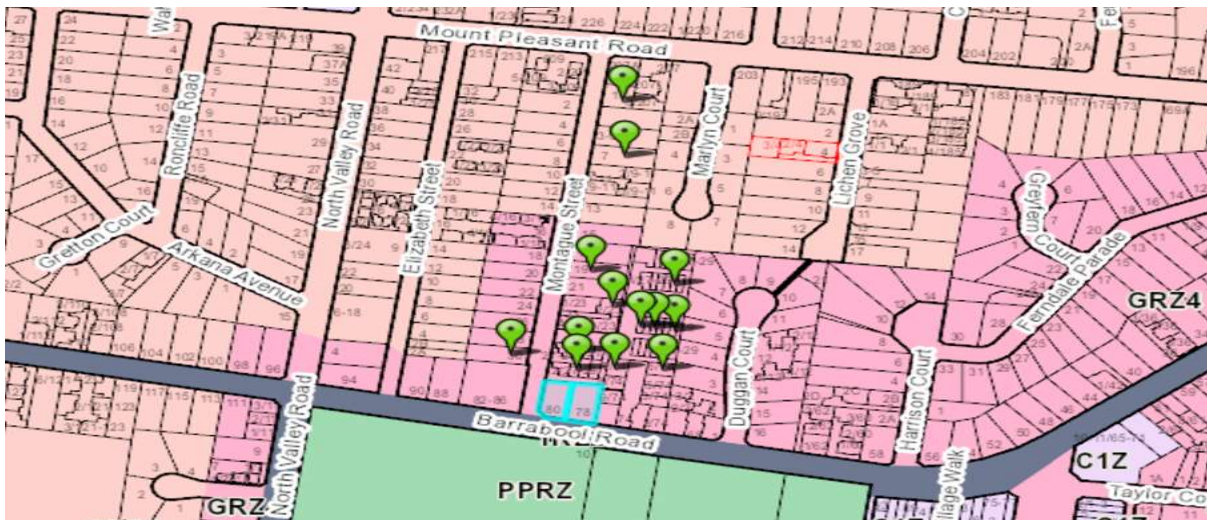


Figure 14 – Location of the objector (sourced Places weave marked in green).

## CONSULTATION

A consultation meeting was not held because the applicant chose to provide a written response to the concerns raised in the objection.

No objector has withdrawn as a result of the response.

The applicant response to objections is summarised as follows:

- The subject site is located within the General Residential Zone, Schedule 4 which relates to Urban Increased Housing Diversity Areas and the Highton Shopping Centre Increased Housing Diversity Area, as identified in Local Policy at Clause 16.01-1L-02 of the Planning Scheme. The character of the area has been changing for some time and this proposal is simply another step in the evolution of the Highton's form which is supported and encouraged by Local Policy.
- The building height is determined by the zoning of the property, in this case the General Residential Zone, Schedule 4. Clause 32.08-10 (GRZ) specifies that that the maximum allowable height of the building is 12m given the slope of the land. The proposed building height comfortably sits below the 12m maximum height.
- The proposed design uses articulated forms, along with a contemporary colour and material palette that is reflective of the Highton character to maintain a human sense from street level and at a distance.
- The proposal is compliant with the requirements of Standard B22 for overlooking, thus ensuring that the amenity and privacy of neighbouring properties is protected.
- The overshadowing diagrams on TP40 and TP41 have been prepared to demonstrate the extent of overshadowing which will be caused by this development. Compliance with this standard has been achieved through setting the building back from the eastern boundary, stepping in the upper level of the building and limiting the extent of the balconies on the eastern side of the building. Collectively, this will ensure that there are no impacts beyond what is considered reasonable under Clause 55.04-5.

- The capability of Barrabool Road to accommodate the additional traffic is supported by the data collected by OneMileGrid as it is an arterial road. This information was requested by the Department of Transport and Planning who have provided conditional consent to the project, demonstrating that they are supportive.
- The waiver of 3 car visitor car parking spaces is in the scope of this development and availability of onsite car parking an acceptable outcome for the site. A car parking surveys demonstrate that there is more than enough overflow car parking within the area to accommodate the increase in on-street car parking this reduction will require.

### AMENDMENT OF THE APPLICATION FOLLOWING PUBLIC NOTIFICATION

The applicant made a request to amend the application following public notification pursuant to Section 57A of the Planning and Environment Act 1987 on 21 January 2025. Council has accepted the amendment. The amendment made the following changes to the application:

- Ground floor apartments altered and wall pushed back to increase garden area.
- Level 1 apartments altered to align with ground floor below to increase garden area.
- Level 2 balconies adjusted to align with levels below to increase garden area.
- Eastern setback adjusted to increase garden area.
- Adjustment to building area calculations.
- Garden area plan adjusted and increased to 440.65 square metres.

These are the plans currently under assessment.

It was not considered necessary to readvertise the proposal based on the amendment, as the amendment would not result in any additional material detriment compared with the advertised application, for the following reasons:

- The amendments were minor and reduced the footprint to ensure that the minimum garden area requirement is met.
- It was considered no additional material detriment would be caused from a reduction in size of the development.

### OBJECTIONS

The concerns of objectors are summarised and commented on below:

#### **1. Objection - Neighbourhood character**

##### Response

The neighbourhood character could be described as transitioning to a modern look in terms of design, scale and building materials. This matter is addressed in the Clause 55 (Rescode) assessment as

discussed in Appendix 1. The proposed development is considered to align with building scale currently being realised along the streetscape.

When the proposed streetscape is visualised as a whole including the design, building materials, existing street tree, proposed landscaping and fencing, it is considered to respect the neighbourhood character and respond to the evolving features of the area.

## **2. Objection - Building height and design**

### Response

The site is located in the General Residential Zone Schedule 4, which allows for a maximum building height of 12m given the slope of the land and no more than 3 storeys at any point. Whilst all the adjoining dwellings are all single storey, there are examples of double storey dwellings in the locality and it is reasonable to allow for an intensification of development in the form of an increase in the height of dwellings in this area.

As the proposal is three-storeys and reaches a maximum building height of 10.475 metres above the existing natural ground level, it does not exceed the maximum height requirements at any point under the Zone and is considered an incremental change in the overall height of the area.

It is understood that a more intensive development is expected to meet the objectives of Clause 16.01-1L-02 – IHDA. Development of three storey developments will facilitate better use of available space in the IHDA.

## **3. Objection – Privacy concern overlooking to adjoining habitable rooms and private open spaces**

### Response

The privacy concerns to adjoining dwelling's habitable rooms and private open spaces has been avoided in accordance with Clause 55 (Rescode) as discussed in Appendix 1.

## **4. Objection – Overshadowing**

### Response

The extent of overshadowing associated with the proposed development is within the requirements of the Standard as outlined in the Clause 55 (Rescode) as discussed in Appendix 1.

## **5. Objection - Traffic and on street car parking impacts**

### Response

The capability of Barrabool Road to accommodate the additional traffic is supported by the data collected by OneMileGrid as it is an arterial road. This report was reviewed by the Department of Transport and Planning who have provided support subject to conditions.

Barrabool Road is an arterial road. It is noted that 12 on street car parking spaces are lost as a result of the development. It is not uncommon for on-street car parking arrangements to change with new development, particularly where access onto arterial roads and changes to vehicle crossing locations are altered. The proposed on-street parking changes are shown in figure 15 below. The above-mentioned study has confirmed that the displaced car parking spaces on Barrabool Road are expected to be

accommodated within the vicinity, and the on street car parking loss and the visitor car parking waiver is considered acceptable.

In addition to the Department of Transport and Planning, the City's Engineers also assessed the traffic report and were supportive of the findings and recommendations.



Figure 15 – Proposed on-street parking charges (sourced from application material).

## 6. Objection - Reduction in three visitor car parking spaces

### Response

The proposal meets residents carparking requirements of Clause 52.06 (Car parking). The proposal requires 4 visitor car parking spaces and 1 has been provided and thus a reduction of three car parking spaces is required. The application includes a car parking study by OneMileGrid which demonstrates that there is more than enough overflow car parking within the immediate area to accommodate the increase in on-street car parking this reduction will require. This study was reviewed and assessed by the City's Traffic Engineers and the reduction is supported. It is noted that the proposal provides 2 visitor bike parking spaces accessed on Barrabool Road.

## ASSESSMENT

### ZONE

#### **Clause 32.08 - General Residential Zone - Schedule 4 (GRZ4).**

##### **Purpose**

The purpose of the General Residential Zone - Schedule 4 is to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

#### **Schedule 4 to Clause 32.08 General Residential Zone - Urban Increased Housing Diversity Areas**

Schedule 4 of the General Residential Zone does not specify a neighbourhood character objective for the zone.

### Garden Area

Pursuant to Clause 32.08-4, an application to construct or extend a dwelling on a lot must provide a minimum garden area as set out in the following table:

<b>Lot size</b>	<b>Minimum percentage of a lot set aside as garden area</b>
400 - 500 sqm	25%
Above 500 - 650 sqm	30%
Above 650 sqm	35%

### Response

The subject site has a total area of approximately 1259sqm. As such, in accordance with Clause 32.08-4, a minimum of 35% of the site, or 440.65sqm of the site is required to be set aside as garden area. The proposed garden area as shown on figure 16 demonstrates compliance.

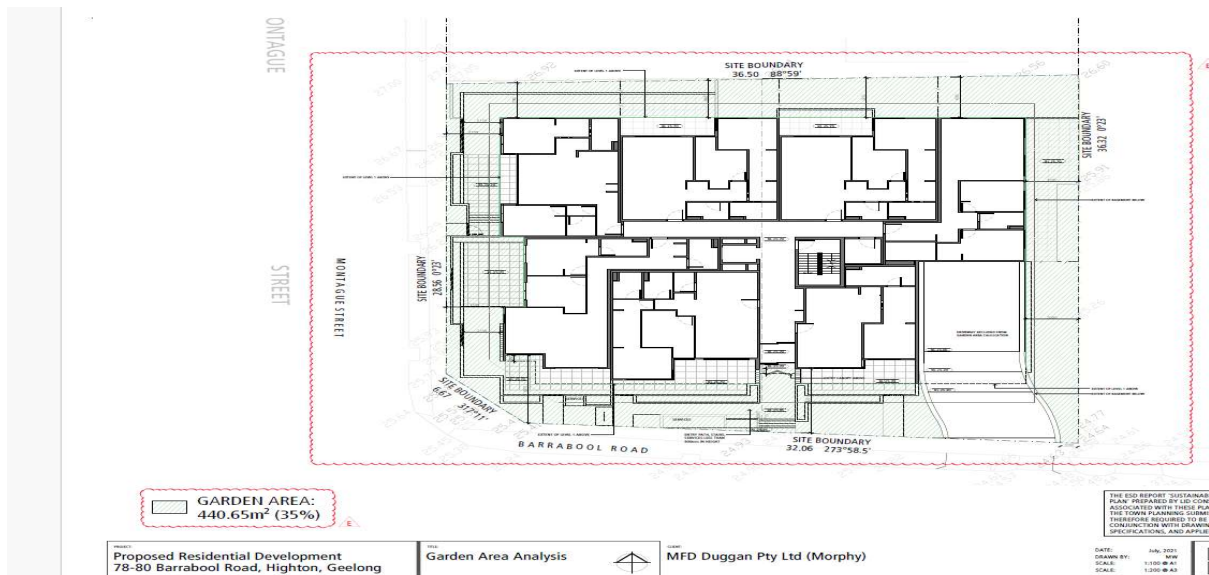


Figure 16 – Garden area calculation (sourced from application material).

### Maximum Building Height

Pursuant to Clause 32.08-11 (in part):

- A building must not be constructed for use as a dwelling, small second dwelling or a residential building that:
  - exceeds the maximum building height specified in a schedule to this zone; or
  - contains more than the maximum number of storeys specified in a schedule to this zone.
- If no maximum building height or maximum number of storeys is specified in a schedule to this zone:
  - the building height must not exceed 11 metres; and
  - the building must contain no more than 3 storeys at any point.

A building may exceed the maximum building height by up to 1 meter if the slope of the natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees. The applicant has demonstrated that the slope of the land is greater than 2.5 degrees and the applicable maximum building height is 12 metres (figure 17).

The proposal is three-storeys and reaches a maximum building height of 10.475 metres above the existing natural ground level. It does not exceed the maximum height requirements at any point.

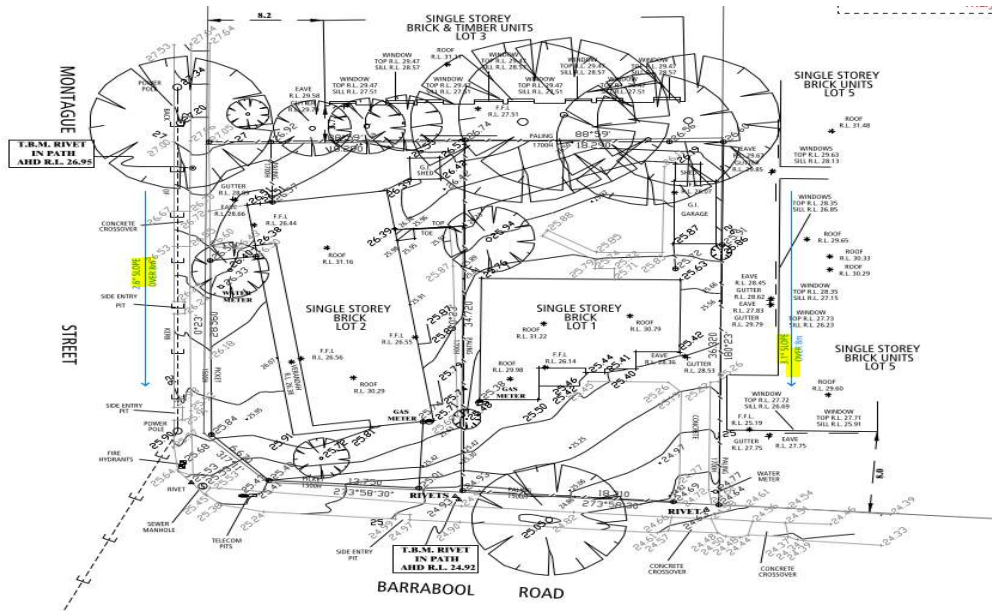


Figure 17 – Slope of the land showing greater than 2.5 degrees (sourced from application material).

Response to zone

The application proposes a three storey building containing 21 dwellings which is considered a medium density development and consistent with the purpose of the General Residential Zone to provide for housing growth and housing diversity in an established residential area close to shops and services.

The proposed design response achieves a high level of compliance with the Clause 55 standards as well as providing a high level of amenity for the future occupants of the dwellings.

The proposed development conforms with the mandatory height requirements for dwellings in the zone. The apartment building reaches a maximum height of 10.475 metres measured from natural ground level, which is lower than the allowable maximum height of 12 metres.

The development will not result in overshadowing of any solar energy system on adjoining lots.

The proposed development has provided a complying setback that respects the established streetscape pattern of development. There are sufficient areas for landscaping with the Garden Area plan achieving at least 35% of the site for garden area and the layout of the private open spaces provides functional recreational areas.

The proposal includes a mixture of materials in the façade of the building, the siting, height, scale, form and landscaping of proposed buildings is acceptable as seen in modern built form outcomes and recent developments in the area.

## OVERLAY

### **Clause 44.05 - Special Building Overlay (SBO)**

#### **Purpose**

The purpose of the Special Building Overlay is to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify land in urban areas liable to inundation by overland flows from the urban drainage system as determined by, or in consultation with, the floodplain management authority.
- To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, is compatible with the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity.
- To protect water quality and waterways as natural resources by managing urban stormwater, protecting water supply catchment areas, and managing saline discharges to minimise the risks to the environmental quality of water and groundwater.

The Special Building Overlay do not specify objectives.

#### **Decision guidelines**

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.
- Any local floodplain development plan.
- Any comments from the relevant floodplain management authority.
- The existing use and development of the land.
- Whether the proposed use or development could be located on flood-free land or land with a lesser flood hazard outside this overlay.
- The susceptibility of the development to flooding and flood damage.
- Flood risk factors to consider include:
  - The frequency, duration, extent, depth and velocity of flooding of the site and accessway.
  - The flood warning time available.
  - The danger to the occupants of the development, other floodplain residents and emergency personnel if the site or accessway is flooded.
- The effect of the development on redirecting or obstructing floodwater, stormwater or drainage water and the effect of the development on reducing flood storage and increasing flood levels and flow velocities.
- Any other matters specified in a schedule to this overlay.

## Response to overlay

The SBO/stormwater flood extent covers a small portion of the site at the front and is subject to a flood depth up to 0.05 metres while the access to the property may be affected by floodwater of depth up to 0.20m. Council has a MoU with the CCMA (being the Flood Management Authority) to do referrals within the SBO on their behalf. Council has reviewed the proposal and confirmed that the required minimum finished floor level for any habitable building is 300 mm freeboard above the applicable flood level whereas for non-habitable buildings (garage, storage shed etc.), the freeboard requirement is 150 mm.

Based on the freeboard requirement and applicable maximum flood level to each of the dwellings, the proposed finished floor levels are satisfactory to the requirements of the SBO and flood safety. Conditions will form part of any permit issued to ensure the above matters are addressed.

## CULTURAL HERITAGE MANAGEMENT PLAN (CHMP)

The Aboriginal Heritage Regulations 2018 specify the circumstances in which a cultural heritage management plan is required for an activity or class of activity. Division 2 of the Aboriginal Heritage Regulations 2018 specifies exempt activities which do not require a cultural heritage management plan. The proposal is not listed as an exempt activity.

Areas of cultural heritage sensitivity are defined within Divisions 3 and 4 of the Aboriginal Heritage Regulations 2018. Division 3 does not identify the site or part of the site as within an area of cultural heritage sensitivity. High impact activities are defined within Division 5 of the Aboriginal Heritage Regulations 2018. Division 5 does not list the proposal as a high impact activity.

The site is not considered to have been the subject of significant ground disturbance which is defined as 'disturbance of (a) the topsoil or surface rock layer of the ground or (b) a way - by machinery in the course of grading, excavating, digging, dredging or deep ripping, but does not include ploughing other than deep ripping.

In accordance with the above assessment, a cultural heritage management plan is not required.

## LANDFILL GAS RISK ASSESSMENT

The subject site is not located within 500 metres of an identified former landfill site, a risk assessment is not required.

## DEVELOPMENTS IN BUSHFIRE PRONE AREAS

The site is not located within a designated bushfire prone area.

## MUNICIPAL PLANNING STRATEGY (MPS)

### **Clause 02.03 - Strategic Directions**

#### **Clause 02.03-1 – Settlement**

#### **Clause 02.03-5 – Built environment and sustainability**

#### **Clause 02.03-6 – Housing**

THE PLANNING POLICY FRAMEWORK (PPF)

The following Planning Policies are applicable to this application:

**11.00 – Settlement**

**11.01-1S – Settlement**

**11.01-1L-01 – Geelong settlement**

**11.02-1S – Supply of urban land**

**Clause 13 Environmental Risk and Amenity:**

**13.03-1S Floodplain management**

**13.03-1L Floodplain management**

**15 - Built Environment and Heritage**

**15.01- 1S - Urban Design**

**15.01-2S - Building design**

**15.01-2L - Environmentally Sustainable Development**

**15.01-4S - Healthy neighbourhoods**

**15.01-5L - Neighbourhood Character**

**15.01-5S - Neighbourhood character**

**16 – Housing**

**16.01-1S Housing supply**

**16.01-1R Infill housing - Geelong G21**

**16.01-1L-01 Integrated housing and housing diversity**

**16.01-1L-02 Increased housing diversity areas**

**16.01-2S Housing affordability**

**16 – Transport**

**18.01-1S Land use and transport integration**

**18.02-4S - Roads**

Response to Policy

The application has been considered against all relevant objectives and strategies and has been found to give appropriate effect to the MPS and PPF of the Planning Scheme.

It proposes an infill housing development that will assist with meeting the growing need for diverse housing in Geelong. It is located on land offering convenient access to a full range of employment, education, health, social, recreational and commercial services. The site is fully serviced by utilities, and the established road and alternative transport network, and is within walking distance of the public bus network.

The apartment development offers a contemporary accommodation option that adds to the diversity of available housing to meet a variety of needs within the community. This diversity is likely to assist with housing affordability, particularly given the mix of 1, 2, and 3 bedroom apartments proposed, and the compact layout and generous communal shared spaces provided.

The Floodplain Management Authority has determined that the proposal can produce an acceptable outcome in terms of flood risk. With the development maintaining free passage and temporary storage of floodwaters and is compatible with local drainage conditions.

Importantly, the design detail of the development responds appropriately to the preferred character of the area. This part of Highton is appropriately located to accommodate housing developments of increased density and diversity in accordance with Schedule 4 to the GRZ (Urban Increased Housing Diversity Areas) that invokes Clause 16.01-1L-02 (Increased housing diversity areas). In this respect, the zone and policy invoke dwelling (including apartment) developments up to and including 3 storeys. This development has incorporated built form strategies by incorporating horizontal and vertical articulation, and a mix of materials, textures, colours and on ground and above ground landscaping to create visual interest. The upper storey is recessed, reducing visual dominance, and setting a design standard for multi-dwelling developments along this part of Barrabool Road and Montague Street for the future.

Existing residential development within the immediate surroundings of the subject site can be generally characterised as single dwelling lots or single or double storey construction and medium density developments displaying a somewhat varied design detail and architectural intent.

Notable exceptions in the locality (figure 18) include a constructed three storey apartment built at 54 Barrabool Road, Highton (figure 19) and three storey apartment building approvals at 16 Duggan Court (figure 20) and 34 Barrabool Road, Highton (figure 21).



Figure 18 – Subject site, approved apartment developments and existing apartment building along Barrabool Road (sourced from near map-notated in red).



Figure 19 – Three storey apartment building at 54 Barrabool Road, Highton (sourced from near map).

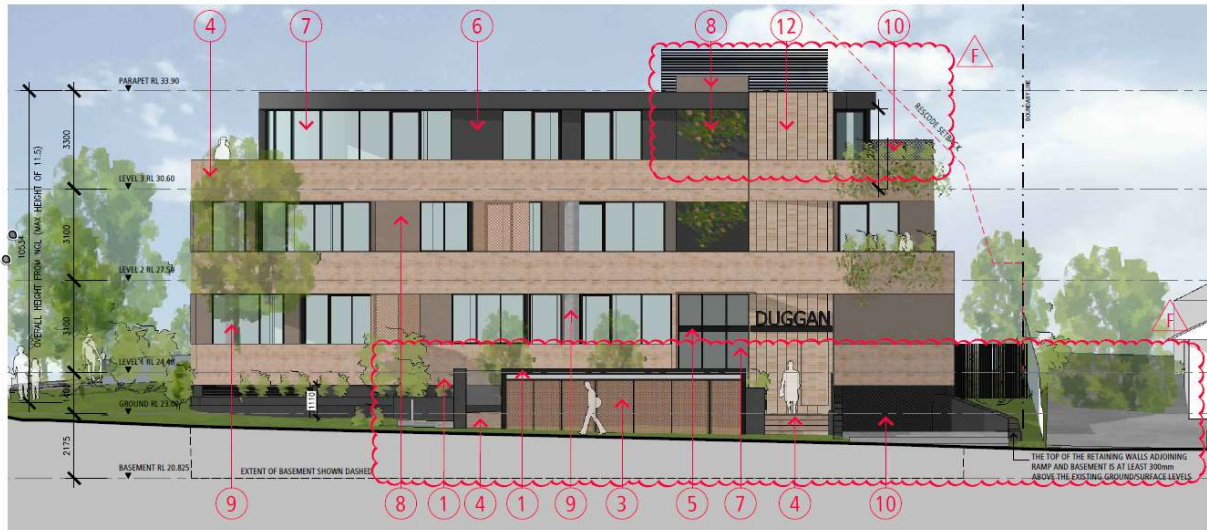


Figure 20 – Approved three storey apartment building (PP-508-2021) at 16 Duggan Court, Highton (sourced from Rex).



Figure 21 – Approved three storey apartment building (PP-935-2020) at 34 Barrabool Road, Highton (sourced from near map).

The site access is from the principal road network allowing for safe and unobstructed vehicle movements in and out of the basement. The access has been carefully designed to allow entry and exit in a forward direction, vehicle circulation and turning in the basement car park.

The Sustainability Design Assessment includes a BESS score of 52% and STORM rating of 102%, which have been assessed as satisfactory by the City’s ESD officer.

## PARTICULAR PROVISIONS

The following Particular Provisions are applicable to this application:

### CLAUSE 52.06 – CAR PARKING

- To ensure that car parking is provided in accordance with the State Planning Policy Framework and the Local Planning Policy Framework.
- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

### Response

Clause 52.06 requires the provision of 22 car spaces for residents and 4 visitor car parking spaces. The proposal includes 22 resident parking spaces and 1 visitor car parking space. The proposal has a shortfall of 3 visitor car parking spaces.

As per Clause 52.06-5 of the planning scheme, before granting a permit to reduce the number of spaces, the responsible authority must consider the proposal against a number of criteria including the following relevant matters:

- The Car Parking Demand Assessment.
- The availability of alternative car parking in the locality of the land, including:
  - On street parking in non-residential zones.
  - Streets in residential zones specifically managed for non-residential parking.
- The practicality of providing car parking on the site, particularly for lots of less than 300 square metres.
- The impact of fewer car parking spaces on local amenity, including pedestrian amenity and the amenity of nearby residential areas.
- The need to create safe, functional and attractive parking areas.
- Access to or provision of alternative transport modes to and from the land.
- Any other relevant consideration.

The reduction in car parking spaces is supported for the following reasons:

- In support of the application, the applicant submitted a Transport Impact Assessment Report by OneMileGrid. The report includes a car parking study that confirms the car parking rate proposed for

the subject site is sufficient. The City’s Engineering Department has considered the report to be acceptable.

- It is noted that there is no requirement under Clause 52.34-5 (Bicycle Facilities) to provide bicycle parking. The proposal includes a minimum of two visitor bicycle spaces at ground level and 22 bicycle spaces for residents in the basement level, despite not required by the planning scheme.
- The subject site is located 240m from public transport (bus route 42 and 43). Location of bus stops is shown on figure 22 below.

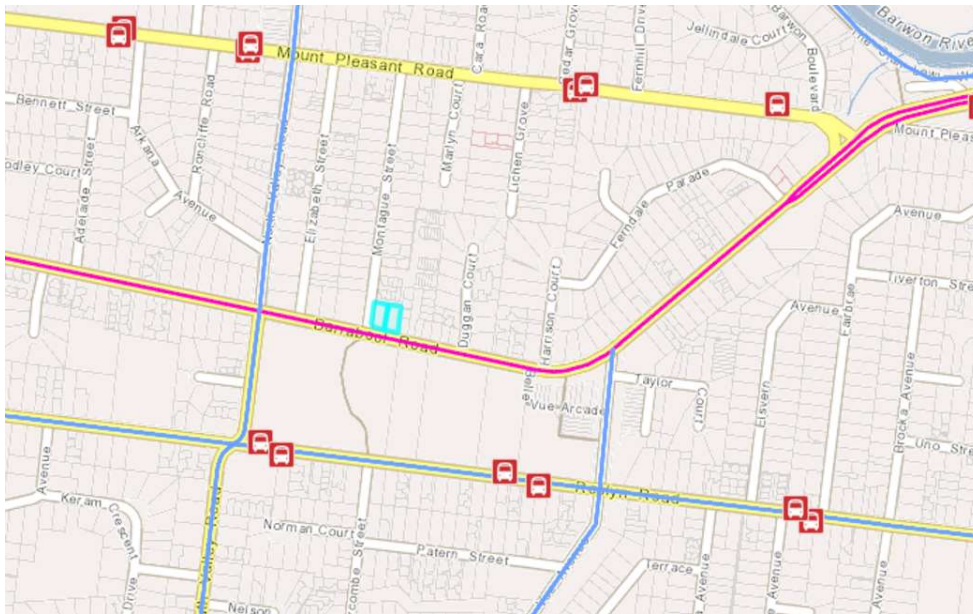
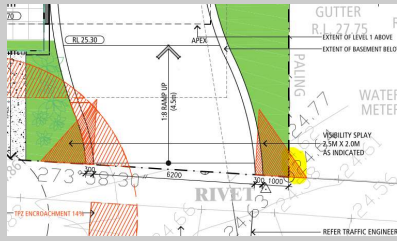



Figure 22 – Bus stop locations (sourced from Place wave, pink and blue are bicycle routes).

The following table provides a response to Clause 52.06-9 - Design standards for car parking:

<b>Design standard 1 – Accessways</b>	
Accessways must: Be at least 3 metres wide.	Complies
Accessways must: Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide.	Complies
Accessways must: Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre.	N/A
Accessways must: Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheelbase of 2.8 metres.	Complies
Accessways must: If the accessway serves four or more car spaces or connects to a road in a Transport Zone, the accessway must be designed so that cars can exit the site in a forward direction.	Complies
Accessways must: Provide a passing area at the entrance at least 6.1 metres wide and 7 metres long if the accessway serves ten or more car parking spaces and is either more than 50 metres long or connects to a road in a Road Zone.	Complies
Accessways must: Have a corner splay or area at least 50 per cent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.	<p>Does not comply but satisfied</p> <p>To the eastern side of the Barrabool Road entrance, the visibility splay would be obstructed by boundary fence (shown in yellow below).</p>  <p>It is noted that the boundary fence is low level and a large portion of the required sight distance is provided. Existing traffic will come down hill and will have additional visibility over</p>

	<p>the fence. No objection has been raised by the City's Engineering Department.</p> 
<p>If an accessway to four or more car parking spaces is from land in a Transport Zone, the access to the car spaces must be at least 6 metres from the road carriageway.</p>	<p>Complies The ramp is provided with a 6.2 metre width at the entrance, allowing an entering or exiting vehicle to pass vehicles in the opposite direction.</p>
<p>If entry to the car space is from a road, the width of the accessway may include the road.</p>	<p>N/A</p>

**Design standard 2 – Car parking spaces**

Car parking spaces and accessways must have the minimum dimensions as outlined in Table 2.

Table 2: Minimum dimensions of car parking spaces and accessways

Angle of car parking spaces to access way	Accessway width	Car space width	Car space length
Parallel	3.6 m	2.3 m	6.7 m
45°	3.5 m	2.6 m	4.9 m

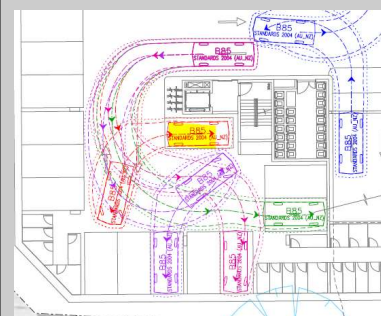
Angle of car parking spaces to access way	Accessway width	Car space width	Car space length
60°	4.9 m	2.6 m	4.9 m
90°	6.4 m	2.6 m	4.9 m
	5.8 m	2.8 m	4.9 m
	5.2 m	3.0 m	4.9 m
	4.8 m	3.2 m	4.9 m

Note to Table 2: Some dimensions in Table 2 vary from those shown in the Australian Standard AS2890.1-2004 (off street). The dimensions shown in Table 2 allocate more space to aisle widths and less to marked spaces to provide improved operation and access. The dimensions in Table 2 are to be used in preference to the Australian Standard AS2890.1-2004 (off street) except for disabled spaces which must achieve Australian Standard AS2890.6-2009 (disabled).

Does not comply but satisfied  
 All resident car spaces on-site are generally proposed with a width of 2.6 metres, length of 4.9metres and are accessed from aisles of no less than 6.4 metres. Spaces adjacent to walls have been widened in accordance with Design Standard 2 of the Planning Scheme.

The visitor car parking space has been designed with a width of 2.4 metres and a length of 5.4 metres and is accessed from aisles of 6.4 metres. The dimensions do not meet Table 2.

The proposal is still considered acceptable for the following reasons:  
 The dimensions meets the Australian/New Zealand Standard for Parking facilities, Part 1: Off-street car parking (AS/NZS 2890.1:2004).  
 The swept path shown below demonstrates that an 85th percentile passenger vehicle (B85) can access the space with a reverse in manoeuvre and exit the space in a forward direction without the need for a corrective manoeuvre.  
 The City’s Traffic Engineers are satisfied with the proposal.



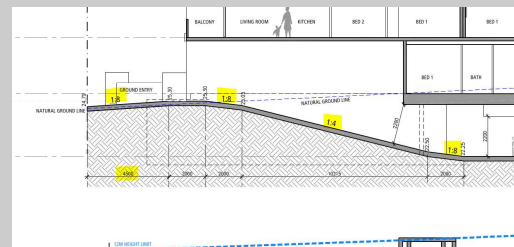
<p>A wall, fence, column, tree, tree guard or any other structure that abuts a car space must not encroach into the area marked 'clearance required' on Diagram 1, other than:</p> <p>A column, tree or tree guard, which may project into a space if it is within the area marked 'tree or column permitted' on Diagram 1.</p> <p>A structure, which may project into the space if it is at least 2.1 metres above the space.</p> <p><b>Diagram 1 Clearance to car parking spaces</b></p> <p>Dimensions in millimetres</p> <ul style="list-style-type: none"> <li>Clearance required</li> <li>Tree or column permitted</li> </ul>	<p>Complies</p>
<p>Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space and 5.5 metres wide for a double space measured inside the garage or carport.</p>	<p>N/A</p>
<p>Where parking spaces are provided in tandem (one space behind the other) an additional 500 mm in length must be provided between each space.</p>	<p>N/A</p>
<p>Where two or more car parking spaces are provided for a dwelling, at least one space must be under cover.</p>	<p>Complies</p>
<p>Disabled car parking spaces must be designed in accordance with Australian Standard AS2890.6-2009 (disabled) and the Building Code of Australia. Disabled car parking spaces may encroach into an accessway width specified in Table 2 by 500mm.</p>	<p>N/A</p>

**Design standard 3: Gradients**

Accessway grades must not be steeper than 1:10 (10 per cent) within 5 metres of the frontage to ensure safety for pedestrians and vehicles. The design must have regard to the wheelbase of the vehicle being designed for; pedestrian and vehicular traffic volumes; the nature of the car park; and the slope and configuration of the vehicle crossover at the site frontage. This does not apply to accessways serving three dwellings or less.

Does not comply but satisfied  
 The access ramp proposes non-standard grades as shown further below. The ramp (up) gradient is 1:8 within 4.5 metres of the frontage and remain generally flat for the next 2 meters before it ramps down to the basement car park. Whilst the access ramp would exceed 1:10 within 5 metres of the street frontage, it is noted that the ramp is 'uphill' and safety for pedestrians and vehicles will not be a concern.

The City's Engineering Department has assessed the design and is considered to be acceptable. It is noted that the ramp has been designed to accommodate a flood proof apex, i.e. the ramp must achieve a level with 300 mm freeboard above the nominated flood level.



Ramps (except within 5 metres of the frontage) must have the maximum grades as outlined in Table 3 and be designed for vehicles travelling in a forward direction.

Table 3: Ramp gradients

Type of car park	Length of ramp	Maximum grade
Public car parks	20 metres or less	1:5 (20%)
	longer than 20 metres	1:6 (16.7%)
Private or residential car parks	20 metres or less	1:4 (25%)
	longer than 20 metres	1:5 (20%)

Complies

Where the difference in grade between two sections of ramp or floor is greater than 1:8 (12.5 per cent) for a summit grade change, or greater than 1:6.7 (15 per cent) for a sag grade change, the ramp must include a transition section of at least 2 metres to prevent vehicles scraping or bottoming.

Complies

Plans must include an assessment of grade changes of greater than 1:5.6 (18 per cent) or less than 3 metres apart for clearances, to the satisfaction of the responsible authority.

Complies

<b>Design standard 4: Mechanical parking</b>	
<p>Mechanical parking may be used to meet the car parking requirement provided:</p> <p>At least 25 per cent of the mechanical car parking spaces can accommodate a vehicle height of at least 1.8 metres.</p> <p>Car parking spaces that require the operation of the system are not allocated to visitors unless used in a valet parking situation.</p> <p>The design and operation is to the satisfaction of the responsible authority.</p>	N/A
<b>Design standard 5: Urban design</b>	
Ground level car parking, garage doors and accessways must not visually dominate public space.	N/A
Car parking within buildings (including visible portions of partly submerged basements) must be screened or obscured where possible, including through the use of occupied tenancies, landscaping, architectural treatments and artworks.	N/A
Design of car parks must take into account their use as entry points to the site.	Complies
Design of new internal streets in developments must maximise on street parking opportunities.	N/A
<b>Design standard 6: Safety</b>	
Car parking must be well lit and clearly signed.	Complies
The design of car parks must maximise natural surveillance and pedestrian visibility from adjacent buildings.	N/A
Pedestrian access to car parking areas from the street must be convenient.	N/A
Pedestrian routes through car parking areas and building entries and other destination points must be clearly marked and separated from traffic in high activity parking areas.	N/A

Design standard 7: Landscaping	
The layout of car parking areas must provide for water sensitive urban design treatment and landscaping.	Complies
Landscaping and trees must be planted to provide shade and shelter, soften the appearance of ground level car parking and aid in the clear identification of pedestrian paths.	N/A
Ground level car parking spaces must include trees planted with flush grilles. Spacing of trees must be determined having regard to the expected size of the selected species at maturity.	N/A

## CLAUSE 52.29 – LAND ADJACENT TO THE PRINCIPAL ROAD NETWORK

The purpose of the Land Adjacent to a Principal Road Network particular provision is:

- To ensure appropriate access to identified roads.
- To ensure appropriate subdivision of land adjacent to identified roads.

As the application proposes to create/alter access to Barrabool Road, a planning permit is required pursuant to Clause 52.29-2.

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider:

- The Municipal Planning Strategy and the Planning Policy Framework;
- The view of the relevant Road Authority.
- The effect of the proposal on the operation of the road and on public safety.
- Any policy made by the relevant road authority pursuant to Schedule 2, Clause 3 of the *Road Management Act 2004* regarding access between a controlled access road and adjacent land.

### Response

The proposed alteration of access to/from Barrabool Road is considered to provide appropriate access to the site from a principal road while adequately maintaining the operation of the road and public safety. The Department of Transport and Planning are supportive and have provided conditions.

## CLAUSE 53.03 – RESIDENTIAL RETICULATED GAS SERVICE CONNECTION

To prohibit residential reticulated gas connections to new dwellings, new apartment developments and new residential subdivisions.

### Application

This clause applies to an application for a permit under any provision of this scheme that is for or includes:

- construction of a new dwelling (other than a caretaker's house) or a new apartment development.
- the subdivision of land where the subdivision provides for or is for one or more purposes that include residential development.

This clause does not apply to an application for a permit that is solely for:

- the alteration or extension of an existing dwelling or apartment development.
- the subdivision of land or a building to create lots each containing an existing dwelling or apartment.
- the subdivision of land or a building to create lots each of which are intended to contain a dwelling or an apartment authorised by a planning permit that has been issued for the land.
- An application for an amendment to a permit under section 72 of the Act where the permit was issued prior to the 1 January 2024.

### Response

As the application was received post 1 January 2024, a condition on any permit issued will prohibit the dwelling/apartment being connected to reticulated gas.

### **CLAUSE 55 - RESCODE ASSESSMENT – TWO OR MORE DWELLINGS ON A LOT**

The application has been assessed against the objectives and standards of Clause 55 of the Planning Scheme.

The following are variations to Standards which are considered satisfactory:

- Standard B27 - 55.02-5 Daylight to new windows objectives.
- Standard B29 - 55.05-5 Solar Access to Open Space objective
- Standard B32 - 55.06-2 Front Fences objective.
- Standard B35 - 55.07-1 Energy efficiency objectives.
- Standard B48 - 55.07-14 Windows objectives.

An assessment of the application against Clause 55, including Clause 55.07 is included at Appendix 1 of this report.

### **DECISION GUIDELINES OF CLAUSE 65**

#### **CLAUSE 65.01 – APPROVAL OF AN APPLICATION OR PLAN**

Clause 65.01 of the Greater Geelong Planning Scheme outlines the decision guidelines to be considered by the Responsible Authority when making decisions on applications. These decision guidelines include:

- The matters set out in Section 60 of the Act.
- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the environment, human health and amenity of the area
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- Whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.
- The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.



#### **Response**


The proposal has been assessed against the above guidelines and is considered to accord and produce orderly planning outcomes with the decision guidelines of Clause 65.01 of the Greater Geelong Planning Scheme.


### **APPENDIX 1 - CLAUSE 55 - RESCODE ASSESSMENT – TWO OR MORE DWELLINGS ON A LOT**


**Plans Assessed: Received 21 January 2025 – S57A – Site/Floor Plans/Elevations Etc**

**Permit Application Number: PP-74-2024**

<p><b>55.02-1 Neighbourhood character objectives</b></p> <p>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p>	<p><b>Standard B1</b></p> <p>The design response must be appropriate to the neighbourhood and the site.</p> <p>The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	<p><b>Yes – Complies with Standard B1</b></p> <p>The development responds to the preferred character of the area and the proposed design is considered to meet B1 as follows:</p> <ul style="list-style-type: none"> <li>• Lots in the area are generally occupied by single storey dwellings and outbuildings (with the exception of three storey building further to the east), setback from side and rear boundaries and street frontages dominated with some landscaping over low or no fencing.</li> </ul>  <p><i>Streetscape towards east from the subject site (marked red)</i></p>  <p><i>Streetscape towards west from the subject site (marked red)</i></p> <ul style="list-style-type: none"> <li>• It is noted that Highton Community Centre, Highton Reserve and Highton Tennis Club are located across Montague Street and Barrabool Road.</li> <li>• The development of residential buildings up to three-storeys is encouraged under the zone.</li> <li>• Recent three storey development is existing 220m to the east.</li> </ul>
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		 <p><i>Three story apartment at 54 Barrabool Road.</i></p> <ul style="list-style-type: none"> <li>• While the proposed building type is not the dominant building character from what is typically found in the surrounding area, the proposal is regarded as an appropriate response to the existing and preferred neighbourhood character, taking into account the strong urban consolidation and housing diversity objectives for this area, particularly under Clause 16.01-2L (Increased Housing Diversity Areas) and considering the proximity to the Highton Village Neighbourhood Centre.</li> <li>• The height, siting and design of the proposed apartment building is site responsive in that it limits its height to three storeys with recessed third-floor level. The proposal incorporates external facing materials which are reflected within the surrounding area and provides adequate side and rear setbacks to maintain spacing between the proposed building and neighbouring dwellings.</li> </ul>
<p><b>55.02-2 Residential policy objectives</b> To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the</p>	<p><b>Standard B2</b> An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</p>	<p><b>Yes – Complies with Standard B2</b> As set in the officer report, the application complies with the planning policy framework. The required written statement has been provided.  The proposed development is in keeping with the broader planning policy framework for urban consolidation, housing choice and housing diversity and with local planning policy for housing including facilitating infill development to increase housing supply. The site is well located for</p>

<p>Planning Policy Framework.</p> <p>To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.</p>		<p>access to shops / services, employment opportunities, open space and public transport as encouraged by planning policy. The proposed development complies with planning policy initiatives of urban consolidation and will not cause detriment to the amenity of adjoining properties and will not be out of character with the area considering preferred future neighbourhood character for the area.</p>
<p><b>55.02-3 Dwelling diversity objective</b></p> <p>To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p>	<p><b>Standard B3</b></p> <p>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:</p> <ul style="list-style-type: none"> <li>• Dwellings with a different number of bedrooms.</li> <li>• At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.</li> </ul>	<p><b>Yes – Complies with Standard B3</b></p> <p>Twenty-one dwellings are proposed, comprising a mix of 1, 2 and 3 bedrooms with 7 of the dwellings accessible at ground floor level.</p>
<p><b>55.02-4 Infrastructure objectives</b></p> <p>To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p>	<p><b>Standard B4</b></p> <p>Development should be connected to reticulated services, including reticulated sewerage, drainage and electricity, if available. Connection to a reticulated gas service is optional.</p> <p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p> <p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</p>	<p><b>Yes – Complies with Standard B4</b></p> <p>The site is serviced by the required infrastructure and the application has been referred to the City’s Engineers who have not raised any concern about the ability of the site to be drained. Conditions of permit cover off on this issue.</p>
<p><b>55.02-5 Integration with the street objective</b></p> <p>To integrate the layout of development with the street.</p>	<p><b>Standard B5</b></p> <p>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.</p> <p>Development should be oriented to front existing and proposed streets.</p> <p>High fencing in front of dwellings should be avoided if practicable.</p> <p>Development next to existing public open space should be laid out to complement the open space.</p>	<p><b>Yes – Complies with Standard B5</b></p> <p>The development is designed to address Barrabool Road, with pedestrian and vehicle links to the street provided to the ground floor units that face Barrabool Road and Montague Street.</p> <p>It is noted that front boundary planter boxes are proposed to provide a separation between the public and private space. The height of the planter box is technically a fence.</p> 

		<p><u>Montague Street (height of 1.45m-1.68)</u></p>  <p><u>Barrabool Road (height of 0.925m- 2.18m)</u></p> <p>Considering the variation in height, material, landscaping and articulation, the proposed height is still considered to meet B5.</p> <p>The lobby of the development will be clearly identifiable from Barrabool Road which is naturally the primary façade. By locating the entrance on the Barrabool Road frontage, the development will have a visual and physical connection to public open space of the Highton Reserve opposite.</p>
<p><b>55.03-1 Street setback objective</b></p> <p>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p>	<p><b>Standard B6</b></p> <p>Walls of buildings should be set back from streets:</p> <ul style="list-style-type: none"> <li>• At least the distance specified in a schedule to the zone, or</li> <li>• If no distance is specified in a schedule to the zone, the distance specified in Table B1.</li> </ul> <p>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p> <p><i>Refer Table B1 of Clause 55.03-1.</i></p> <p><i>GRZ4 states that:</i></p> <p><i>If the site is in a heritage overlay, the average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser. In all other areas, the average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 4 metres, whichever is the lesser.</i></p>	<p><b>Yes – Complies with Standard B6</b></p> <p>With the variation to the setback standards in Schedule 4 to the GRZ, the setback can be reduced to 4m. The setback proposed from Barrabool Road is 4.64m, which complies with the Standard.</p> <p>The side setback to Montague Street is required to be in line with the front wall of the existing building on the abutting allotment to the north or 2m, whichever is less. The setback from Montague Street is 3.15m (and more than 2m from the truncation of the two streets), which complies with the Standard.</p>

<p><b>55.03-2 Building height objective</b> To ensure that the height of buildings respects the existing or preferred neighbourhood character.</p>	<p><b>Standard B7</b> The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p>	<p><b>Yes – Complies with Standard B7</b> The maximum building height applicable to the site is 11 metres and 3 storeys at any point (excluding a basement). The proposal is three-storeys and reaches a maximum building height of 10.475 metres above the existing natural ground level, it does not exceed the maximum height requirements at any point.</p>
<p><b>55.03-3 Site coverage objective</b> To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</p>	<p><b>Standard B8</b> The site area covered by buildings should not exceed:</p> <ul style="list-style-type: none"> <li>• The maximum site coverage specified in a schedule to the zone, or</li> <li>• If no maximum site coverage is specified in a schedule to the zone, 60 per cent.</li> </ul>	<p><b>Yes – Complies with Standard B8</b> The maximum site coverage specified in the GRZ4 for this site is 70%. The proposed site coverage of buildings is 64% of the site, which is less than the maximum allowed by the Standard.</p>
<p><b>55.03-4 Permeability and stormwater management objectives</b> To reduce the impact of increased stormwater run-off on the drainage system. To facilitate on-site stormwater infiltration. To encourage stormwater management that maximises the retention and reuse of stormwater.</p>	<p><b>Standard B9</b> The site area covered by the pervious surfaces should be at least:</p> <ul style="list-style-type: none"> <li>• The minimum area specified in a schedule to the zone, or</li> <li>• If no minimum is specified in a schedule to the zone, 20 percent of the site.</li> </ul> <p>The stormwater management system should be designed to:</p> <ul style="list-style-type: none"> <li>• Meet the current best practice performance objectives for stormwater quality as contained in the <i>Urban Stormwater - Best Practice Environmental Management Guidelines</i> (Victorian Stormwater Committee, 1999).</li> <li>• Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.</li> </ul>	<p><b>Yes – Complies with Standard B9</b> The site retains 24% permeability, assisting in on site stormwater filtration. A STORM report has been provided which corresponds with the assessment plans which show suitably sized rainwater tanks and/or raingardens to meet best practice.</p>
<p><b>55.03-5 Energy efficiency objectives</b></p>	<p><b>Standard B10</b> Buildings should be:</p>	<p><u>Apartment development.</u> <u>Refer Standard B35 – Clause 55.07-1</u></p>

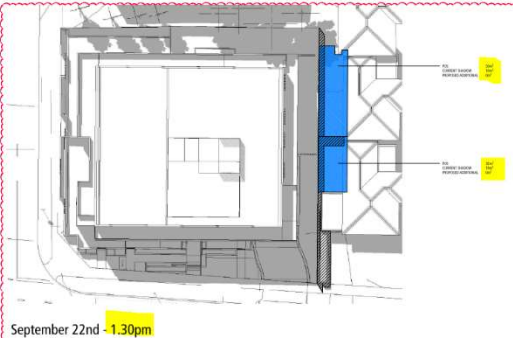
<p>To achieve and protect energy efficient dwellings and residential buildings.</p> <p>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p> <ul style="list-style-type: none"> <li>•</li> </ul>	<ul style="list-style-type: none"> <li>• Oriented to make appropriate use of solar energy.</li> <li>• Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</li> <li>• Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy system must exist at the date the application is lodged.</li> </ul> <p>Living areas and private open space should be located on the north side of the development, if practicable.</p> <p>Developments should be designed so that solar access to north-facing windows is maximised.</p>	
<p><b>55.03-6 Open space objective</b></p> <p>To integrate the layout of development with any public and communal open space provided in or adjacent to the development.</p>	<p><b>Standard B11</b></p> <p>If any public or communal open space is provided on site, it should:</p> <ul style="list-style-type: none"> <li>• Be substantially fronted by dwellings, where appropriate.</li> <li>• Provide outlook for as many dwellings as practicable.</li> <li>• Be designed to protect any natural features on the site.</li> <li>• Be accessible and useable.</li> </ul>	<p><u>Apartment development.</u></p> <p><u>Refer Standard B36 – Clause 55.07-2</u></p>
<p><b>55.03-7 Safety objective</b></p> <p>To ensure the layout of development provides for the safety and security of residents and property.</p>	<p><b>Standard B12</b></p> <p>Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.</p> <p>Planting which creates unsafe spaces along streets and accessways should be avoided.</p> <p>Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.</p> <p>Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p>	<p><b>Yes – Complies with Standard B12</b></p> <p>The development is designed to provide for the safety and security of residents and property. The building entrance is clearly visible from the street and private spaces within the development will be fenced.</p> <p>Separate pedestrian walkways are proposed for all ground floor units that face the streets.</p>

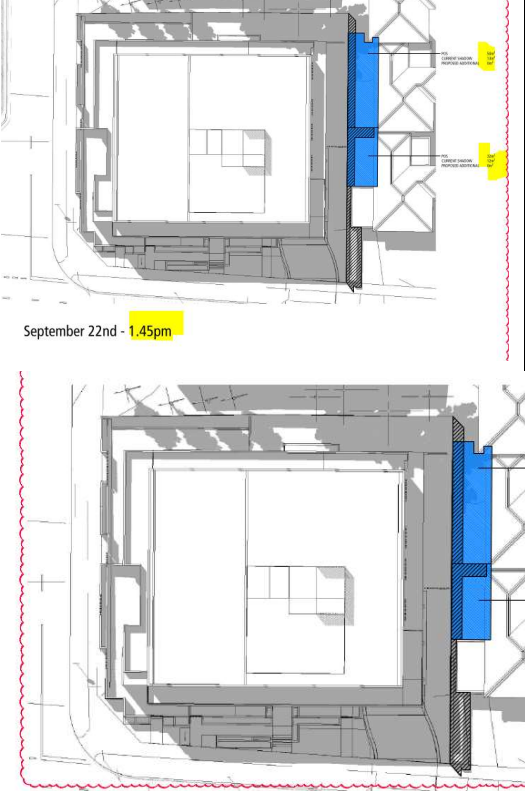
<p><b>55.03-8 Landscaping objectives</b></p> <p>To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p>	<p><b>Standard B13</b></p> <p>The landscape layout and design should:</p> <ul style="list-style-type: none"> <li>• Protect any predominant landscape features of the neighbourhood.</li> <li>• Take into account the soil type and drainage patterns of the site.</li> <li>• Allow for intended vegetation growth and structural protection of buildings.</li> <li>• In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.</li> <li>• Provide a safe, attractive and functional environment for residents.</li> </ul> <p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p> <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p>	<p><u>Apartment development.</u></p> <p><u>Refer Standard B38 – Clause 55.07-4</u></p>
<p><b>55.03-9 Access objective</b></p> <p>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p>	<p><b>Standard B14</b></p> <p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> <li>• 33 per cent of the street frontage, or</li> <li>• if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.</li> </ul> <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p>	<p><b>Yes – Complies with Standard B14</b></p> <p>A total of 19.3% of the frontage is taken up with vehicle crossings, which complies with the standard for this site with a street frontage of 32.6 metres.</p> <p>One communal crossover is proposed which minimises access points to a TRZ2.</p>



<p>boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<ul style="list-style-type: none"> <li>If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</li> </ul> <p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p>	<p><b>NORTH ELEVATION</b> SCALE: 1:100 @ A1</p> <p><b>East</b></p> <p><b>West</b></p> <p><b>WEST ELEVATION</b> SCALE: 1:100 @ A1</p>
<p><b>55.04-2 Walls on boundaries objective</b></p> <p>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the</p>	<p><b>Standard B18</b></p> <p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:</p> <ul style="list-style-type: none"> <li>For a length of more than the distance specified in a schedule to the zone; or</li> <li>If no distance is specified in a schedule to the zone, for a length of more than:</li> </ul>	<p><b>Not Applicable</b></p> <p>No new walls on or within 200mm of a boundary, or carport within 1m of a boundary are proposed as part of this application.</p>

<p>amenity of existing dwellings.</p>	<ul style="list-style-type: none"> <li>○ 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</li> <li>○ Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater.</li> </ul> <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	
<p><b>55.04-3 Daylight to windows objective</b> To allow adequate daylight into existing habitable room windows.</p>	<p><b>Standard B19</b> Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall height is</p>	<p><b>Yes – Complies with Standard B19</b> The required light courts have been achieved and all windows have access to the required level of daylight.</p>

	<p>measured from the floor level of the room containing the window.</p>	
<p><b>55.04-4 North facing windows objective</b> To allow adequate solar access to existing north-facing habitable room windows.</p>	<p><b>Standard B20</b> If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.</p>	<p><b>Not Applicable</b> There are no north facing habitable room windows on abutting lots that require consideration.</p>
<p><b>55.04-5 Overshadowing open space objective</b> To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p><b>Standard B21</b> Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p>	<p><b>Yes – Complies with Standard B21</b> The extent of overshadowing associated with the proposed development is within the requirements of the standard. There is no additional overshadowing to the SPOS area of adjoining dwellings to the east as a result of the new development. There is an existing shadowing from existing fence. This is demonstrated in the shadow diagram below.</p> 

		
<p><b>55.04-6 Overlooking objective</b></p> <p>To limit views into existing secluded private open space and habitable room windows.</p>	<p><b>Standard B22</b></p> <p>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p>A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:</p> <ul style="list-style-type: none"> <li>• Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.</li> <li>• Have sill heights of at least 1.7 metres above floor level.</li> </ul>	<p><b>Yes – Complies with Standard B22 with Condition</b></p> <p>The development is designed to meet the requirements of the standard with overlooking into existing secluded private open space areas and habitable room windows limited in accordance with the standard, subject to conditions.</p> <p><u>Ground level.</u></p> <p>The ground floor has 1.7m timber fencing along north and east boundaries. An amended plans condition will require this to be a minimum of 1.8m in height.</p> <p><u>Level 1</u></p> <p>A combination of obscure glazing to 1.7m above FFL for windows and 1.7m high screen above FFL with 25 per cent transparency for balconies.</p>

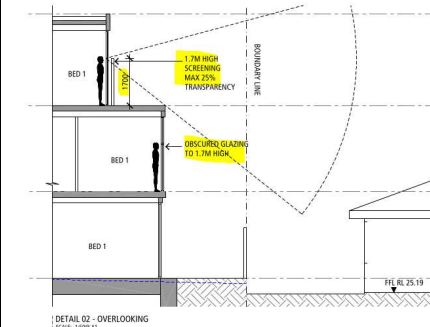
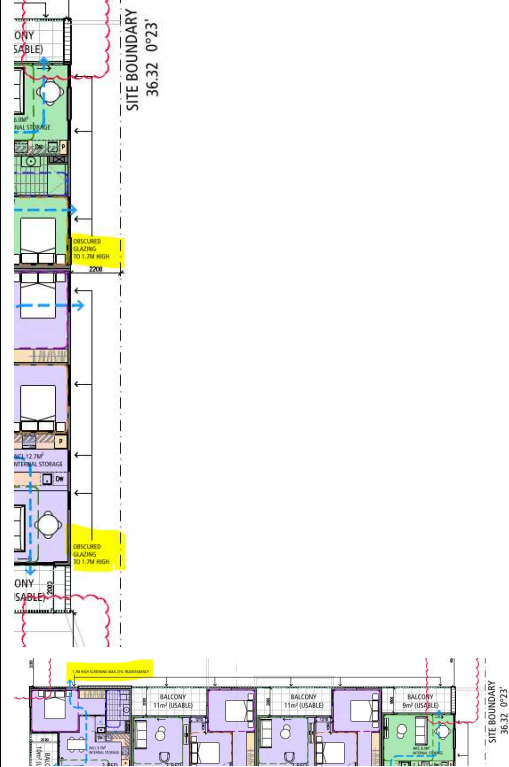
- Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.
- Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.

Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.

Screens used to obscure a view should be:

- Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.
- Permanent, fixed and durable.
- Designed and coloured to blend in with the development.

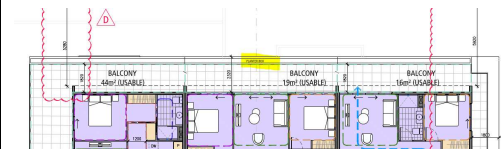
This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

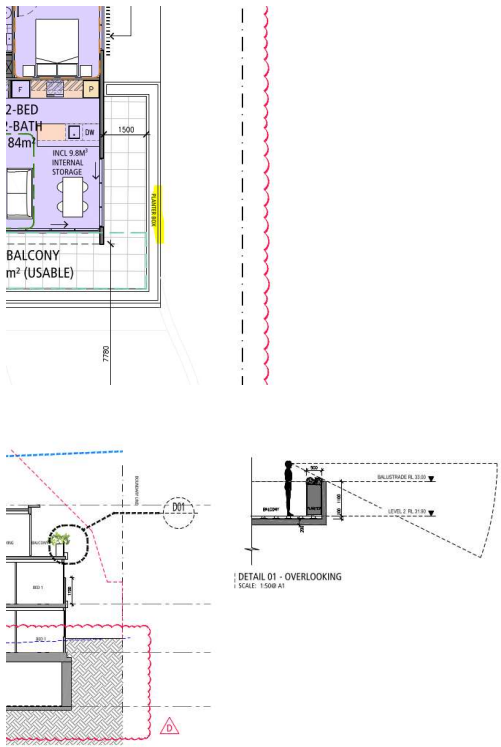


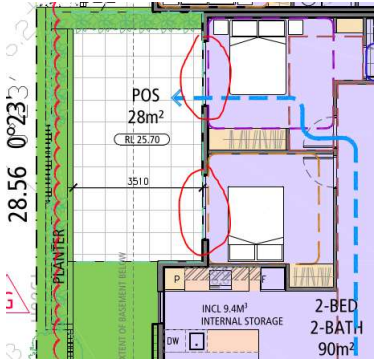
Level 2

Planter boxes facing north and east 500mm deep.

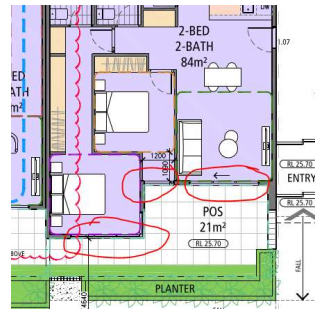
North



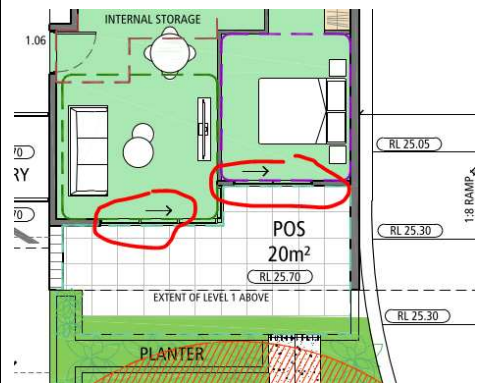
		<p><b>East</b></p>  <p>The cross section does not show the person up flush against the planter box and do not show potential SPOS on adjoining lots to the north and east. This matter will be conditioned to ensure compliance with B22.</p>
<p><b>55.04-7 Internal views objective</b> To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</p>	<p><b>Standard B23</b> Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.</p>	<p><b>Yes – Complies with Standard B23</b> Internal views have been considered in the design solution and there is no internal overlooking.</p>
<p><b>55.04-8 Noise impacts objective</b> To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise</p>	<p><b>Standard B24</b> Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.</p>	<p><b>Apartment development.</b> <u>Refer – Standard B41. Clause 55.07-7</u></p>

	<p>Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p>	
<p><b>55.05-1 Accessibility objective</b> To encourage the consideration of the needs of people with limited mobility in the design of developments.</p> <ul style="list-style-type: none"> <li>•</li> </ul>	<p><b>Standard B25</b> The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.</p>	<p><b>Apartment development.</b> <u>Refer – Standard B42 Clause 55.07-8</u></p>
<p><b>55.05-2 Dwelling entry objective</b> To provide each dwelling or residential building with its own sense of identity.</p> <ul style="list-style-type: none"> <li>•</li> </ul>	<p><b>Standard B26</b> Entries to dwellings and residential buildings should:</p> <ul style="list-style-type: none"> <li>• Be visible and easily identifiable from streets and other public areas.</li> <li>• Provide shelter, a sense of personal address and a transitional space around the entry.</li> </ul>	<p><b>Apartment development.</b> <u>Refer – Standard B50 Clause 55.07-16</u></p>
<p><b>55.05-3 Daylight to new windows objective</b> To allow adequate daylight into new habitable room windows.</p>	<p><b>Standard B27</b> A window in a habitable room should be located to face:</p> <ul style="list-style-type: none"> <li>• An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or</li> <li>• A verandah provided it is open for at least one third of its perimeter, or</li> <li>• A carport provided it has two or more open sides and is open for at least one third of its perimeter.</li> </ul>	<p><b>Yes – Complies, with variation to Standard B27</b> Various ground floor windows to habitable rooms sit below the extent of the first floor above by more than 1m, meaning that they do not have a clear to the sky light. In most cases, the windows are setback less than 1.5m from the edge of the first floor.</p> <p><u>Unit 1.01</u></p> 

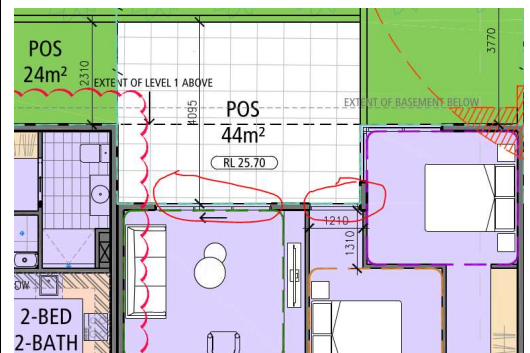
Unit 1.07



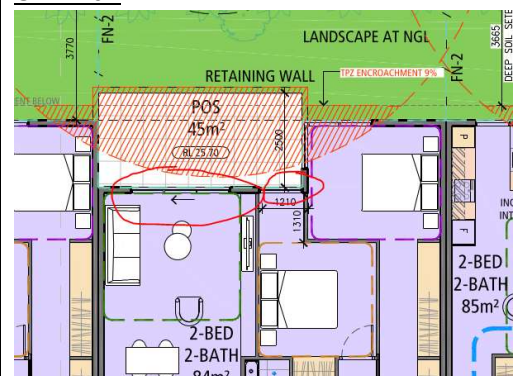
Unit 1.06



Unit 1.03



Unit 1.04



Before deciding on an application, the responsible authority must consider:

		<ul style="list-style-type: none"> <li>• The design response.</li> <li>• Whether there are other windows in the habitable room which have access to daylight.</li> </ul> <p>The proposal is considered to meet the Daylight to new windows objective as follows:</p> <ul style="list-style-type: none"> <li>• Even though the dimension is less than 1m, the area is considerably wider than 3m<sup>2</sup>, ensuring that there is still ample opportunity for light to access these windows.</li> <li>• The habitable rooms are not considered to be unreasonably impacted to access for day light.</li> </ul>
<p><b>55.05-4 Private open space objective</b> To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p><b>Standard B28</b> A dwelling or residential building should have private open space of an area and dimensions specified in the schedule to the zone. If no area or dimensions are specified in the schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> <li>• An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or</li> <li>• A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or</li> <li>• A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.</li> </ul>	<p><b>Yes – Complies with Standard B43</b></p> <ul style="list-style-type: none"> <li>• All ground floor apartments exceed the minimum requirements of 20sqm POS under the GRZ4.</li> <li>• The first and second floor apartments all have balconies which have been designed to meet the minimum requirements for balcony widths and sizes per their respective orientations and apartment sizes.</li> <li>• The SPOS for each apartment is highly functional and designed to provide the best option possible.</li> </ul>
<p><b>55.05-5 Solar Access to Open Space</b> To allow solar access into the</p>	<p><b>Standard B29</b> The private open space should be located on the north side of the dwelling or residential building, if appropriate.</p>	<p><b>Yes – Complies, with variation to Standard B29</b> The following has non-compliance with B29:</p>

<p>secluded private open space of new dwellings and residential buildings.</p>	<p>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2+0.9h) metres, where 'h' is the height of the wall.</p>	<ul style="list-style-type: none"> <li>• Ground level – Units 1.01, 1.06 and 1.07</li> <li>• Level 1 — Units 2.01, 2.02, 2.07 and 2.08</li> <li>• Level 2 — Units 3.01, 3.05 and 3.06</li> </ul> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>• The design response.</li> <li>• The useability and amenity of the secluded private open space based on the sunlight it will receive.</li> </ul> <p>The proposal is considered to meet the Solar Access to Open Space objective as follows:</p> <ul style="list-style-type: none"> <li>• The lot is located on the north side of Barrabool Road and addresses the primary street from living areas which is to the south. The design of balconies facing streets is one of a good design outcome expected for apartments.</li> <li>• It is noted that given the proposal is for an apartment development, it is unlikely that all dwellings will be able to be provided with northern aspect to balconies in accordance with Standard B29. The proposed balconies would all be situated with easy access from living rooms and would remain useable to an extent that is akin to that which would be expected in an apartment development.</li> <li>• Private open space areas are complemented by a high amenity communal roof terrace area.</li> <li>• In view of the above, it is considered that the proposed secluded private open space areas would, on balance, be provided with sufficient solar access.</li> </ul>
<p><b>55.05-6 Storage objective</b> To provide adequate storage facilities for each dwelling.</p>	<p><b>Standard B30</b> Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.</p>	<p><b><u>Refer Standard B44 – Clause 55.07-10</u></b></p>

<p><b>55.06-1 Design Detail</b></p> <p>To encourage design detail that respects the existing or preferred neighbourhood character.</p>	<p><b>Standard B31</b></p> <p>The design of buildings, including:</p> <ul style="list-style-type: none"> <li>• Façade articulation and detailing,</li> <li>• Window and door proportions,</li> <li>• Roof form, and</li> <li>• Verandahs, eaves and parapets,</li> <li>• should respect the existing or preferred neighbourhood character.</li> </ul> <p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p>	<p><b>Yes – Complies with Standard B31</b></p> <p>The proposed development is considered to respect the evolving neighbourhood of Barrabool Road neighbourhood character.</p> <ul style="list-style-type: none"> <li>• The proposal complies with B1.</li> <li>• The design include:             <ul style="list-style-type: none"> <li>○ Sufficient façade articulation from both streets</li> <li>○ Windows proportion is acceptable</li> <li>○ Breezer blocks at ground level is acceptable</li> <li>○ Sufficient balconies are included on the design.</li> </ul> </li> <li>• Pedestrian entries at ground level units complements the streetscape.</li> <li>• Planter box/ fence facing street with variation in materials and landscaped is acceptable.</li> <li>• Basement car park is proposed.</li> </ul> <div data-bbox="962 1160 1449 1429" data-label="Image"> </div> <p style="font-size: small;">VIEW FROM CORNER OF BARRABOOL ROAD AND MONTAGUE STREET</p> <div data-bbox="962 1473 1449 1742" data-label="Image"> </div> <p style="font-size: small;">VIEW FROM MONTAGUE STREET NW CORNER</p>
<p><b>55.06-2 Front Fences</b></p> <p>To encourage front fence design that respects the existing or preferred</p>	<p><b>Standard B32</b></p> <p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> <li>• The maximum height specified in a schedule to the zone, or</li> </ul>	<p><b>Yes – Complies, with variation to Standard B32</b></p> <p>It is noted that front boundary planter boxes are proposed to provide a separation between the public and private</p>

neighbourhood character.

- If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3.

*Refer Table B3 of Clause 55.06-2.*

Street Context	Maximum front fence height
Streets in a Transport Zone 2	2 metres
Other streets	1.5 metres

space. The height of the planter box is technically a fence.



Montague Street (height of 1.45m-1.68)



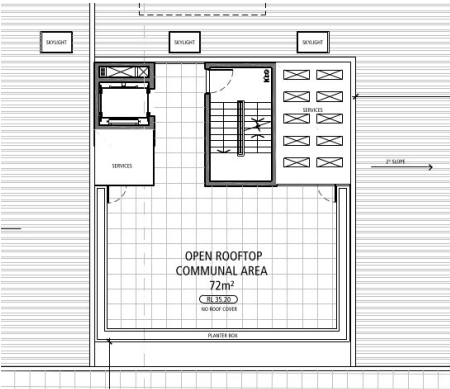
Barrabool Road (height of 0.925m- 2.18m)

Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The design response.
- The setback, height and appearance of front fences on adjacent properties.
- The extent to which slope and retaining walls reduce the effective height of the front fence.
- Whether the fence is needed to minimise noise intrusion.

The proposal is considered to meet the Front Fences objective as follows:

- The majority of the planter box/fence is less than 2m height. It is noted that Barrabool Road is TRZ2 and 2m complies with B3.
- There are some high fences along Barrabool Road.
- The variation in height, material, landscaping and articulation, the proposed height is still acceptable.

<p><b>55.06-3 Common Property</b>                  To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.                  To avoid future management difficulties in areas of common ownership.</p>	<p><b>Standard B33</b>                  Development should clearly delineate public, communal and private areas.                  Common property, where provided, should be functional and capable of efficient management.</p>	<p><b>Yes – Complies with Standard B33</b>                  The private and communal open space areas have been clearly delineated and able to be accessible to all residents.                  Additionally, the communal open space areas on the rooftop will have appropriate landscaping which will be functional and practical to manage and maintain.</p>
<p><b>55.06-4 Site Services</b>                  To ensure that site services can be installed and easily maintained.                  To ensure that site facilities are accessible, adequate and attractive.</p>	<p><b>Standard B34</b>                  The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.                  Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.                  Bin and recycling enclosures should be located for convenient access by residents.                  Mailboxes should be provided and located for convenient access as required by Australia Post.</p>	<p><b>Yes – Complies with Standard B34</b>                  The dwelling layout and design provides for sufficient space and facilities for services to be installed and maintained. Bin and recycling enclosures, mailboxes, clotheslines, and other site facilities have been conveniently located and will blend in with the development and located for convenient access.</p> 

**Perit Application Number: PP-74-2024**

**Clause 55.07 APARTMENT DEVELOPMENTS**

In addition to Clause 55.01 to 55.05 (inclusive), the following Clause 55.07-1 to 55.07-19 (inclusive) apply only:

- To construct or extend an apartment development, or
- To construct or extend a dwelling in or forming part of an apartment development.

These provisions do not apply to an application to construct or extend a development of five or more storeys, excluding a basement or to construct or extend a dwelling in a development of five or more storeys, excluding a basement.

<p><b>55.07-1 Energy efficiency objectives</b></p> <p>To achieve and protect energy efficient dwellings and buildings.</p> <p>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p> <p>To ensure dwellings achieve adequate thermal efficiency.</p>	<p><b>Standard B35</b></p> <p>Buildings should be:</p> <ul style="list-style-type: none"> <li>• Oriented to make appropriate use of solar energy.</li> <li>• Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</li> <li>• Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy system must exist at the date the application is lodged.</li> </ul> <p>Living areas and private open space should be located on the north side of the development, if practicable.</p> <p>Developments should be designed so that solar access to north-facing windows is optimised.</p> <p>Dwellings located in a climate zone identified Table B4 in should not exceed the maximum NatHERS annual cooling load specified in the following table.</p> <p><i>Refer Table B4 of Clause 55.07-1.</i></p>	<p><b>Yes – Complies, with variation to Standard B35</b></p> <p>The following units has south facing habitable rooms</p> <ul style="list-style-type: none"> <li>• Ground level – Units 1.01, 1.06 and 1.07</li> <li>• Level 1 – Units 2.01, 2.02 , 2.07 and 2.08</li> <li>• Level 2 – Units 3.01, 3.05 and 3.06</li> </ul> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>• The design response.</li> <li>• The size, orientation and layout of the site.</li> <li>• The existing amount of solar access to abutting properties.</li> <li>• The availability of solar access to north-facing windows on the site.</li> <li>• The annual cooling load for each dwelling.</li> <li>• The extent to which an existing rooftop solar energy system on an adjoining lot is overshadowed by existing buildings or other permanent structures.</li> <li>• Whether the existing rooftop solar energy system on an adjoining lot is appropriately located.</li> <li>• The effect of overshadowing on an existing rooftop solar energy system on an adjoining lot.</li> </ul> <p>The proposal is considered to meet the objectives as follows:</p> <ul style="list-style-type: none"> <li>• Where possible the dwellings have good access to eastern, western or northern light.</li> <li>• It is considered the where possible the development has sought to ensure that as many dwellings as possible have access to northern light.</li> <li>• ESD officer has reviewed the Sustainable Management Plan (SMP) report and did not raise an issue about NatHERS.</li> </ul>
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<p><b>55.07-2 Communal open space objective</b></p> <p>To provide communal open space that meets the recreation and amenity needs of residents.</p> <p>To ensure that communal open space is accessible, functional, and is easily maintained.</p> <p>To ensure that communal open space is integrated with the layout of the development and enhances resident amenity.</p>	<p><b>Standard B36</b></p> <p>A development of 10 or more dwellings should provide a minimum area of communal outdoor open space of 30 square metres.</p> <p>If a development contains 13 or more dwellings, the development should also provide an additional minimum area of communal open space of 2.5 square metres per dwelling or 220 square metres, whichever is the lesser. This additional area may be indoors or outdoors and consist of multiple separate areas of communal open space. Each area of communal open space should be:</p> <ul style="list-style-type: none"> <li>• Accessible to all residents.</li> <li>• A useable size, shape and dimension.</li> <li>• Capable of efficient management.</li> <li>• Be located to:             <ul style="list-style-type: none"> <li>- Provide passive surveillance opportunities, where appropriate.</li> <li>- Provide outlook for as many dwellings as practicable.</li> <li>- Avoid overlooking into habitable rooms and private open space of new dwellings.</li> <li>- Minimise noise impacts to new and existing dwellings.</li> </ul> </li> </ul> <p>Any area of communal outdoor open space</p>	<p><b>Yes – Complies with Standard B36</b></p> <ul style="list-style-type: none"> <li>• The proposal includes 72 square metres of communal open space (in the form of a roof top terrace) that complies with the standard being 30 square metres + (2.5 square metres x 8 units) = 20sqm or a combined area of 52.5 square metres.</li> <li>• Planter box is provided.</li> <li>• The communal open space allowed passive surveillance to the public reserve across the road.</li> </ul>
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	should be landscaped and include canopy cover and trees.	
<p><b>55.07-3 Solar access to communal outdoor open space objective</b></p> <p>To allow solar access into communal outdoor open space.</p>	<p><b>Standard B37</b></p> <p>The communal outdoor open space should be located on the north side of a building, if appropriate.</p> <p>At least 50 per cent or 125 square metres, whichever is the lesser, of the primary communal outdoor open space should receive a minimum of two hours of sunlight between 9am and 3pm on 21 June.</p>	<p><b>Yes – Complies with Standard B37</b></p> <p>The roof top communal open space is not shadowed.</p>

**55.07-4 Landscaping objective**

To provide landscaping that supports the existing or preferred urban context of the area and reduces the visual impact of buildings on the streetscape.

To preserve existing canopy cover and support the provision of new canopy cover.

To ensure landscaping is climate responsive, supports biodiversity, wellbeing and amenity and reduces urban heat.

**Standard B38**

Development should retain existing trees and canopy cover.

Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.

Development should:

- Provide the canopy cover and deep soil areas specified in Table B5. Existing trees can be used to meet the canopy cover requirements of Table B5.
- Provide canopy cover through canopy trees that are:
  - Located in an area of deep soil specified in Table B6. Where deep soil cannot be provided trees should be provided in planters specified in Table B6.
  - Consistent with the canopy diameter and height at maturity specified in Table B7.
  - Located in communal outdoor open space or common areas or street frontages.
- Comprise smaller trees, shrubs and ground cover, including flowering native species.

**Yes – Complies with Standard B38**

The subject lot has an area of 1259 square metres.

Site area	Canopy cover	Deep soil
square metres or less	Include at least 1 Type A tree	Include at least 1 Type B tree
1001 – 2000 square metres	50 square metres plus 20% of site area above 1000 square metres. Include at least 1 Type B tree	7.5% of site area
2001 – 2500 square metres	100 square metres plus 20% of site area above 1500 square metres	10% of site area

Table B5 requires the provision of 50sqm plus 20% of the site above 1000sqm (51.8sqm) as canopy cover with a minimum 1 Type B tree, and 7.5% of the site deep soil.

Approximately 245sqm or 19% of the site is available for deep soil planting, far exceeding the 7.5% requirement.



DEEP SOIL AREA: 245m<sup>2</sup> (19%)

Table B6 requires 12sqm with a minimum dimension of 2.5m of deep soil for a type A tree. This could easily be achieved on the deep soil area along the northern boundary shown above.

Alternatively, a type A tree can be in a planter with 12 cubic metres soil and a minimum plan dimension of 2.5m and depth of 0.8m. This is shown on planters on ground level plan along the Barrabool Road and Montague Street.

Table B7 outlines that a type A tree exhibits a minimum canopy diameter of 4 metres and height of 6 metres at maturity.

The proposal did not include landscaping plan. However, the submitted plans show sufficient areas to comply with the requirements of Standard B38.


Conditions are recommended requiring the submission of a detailed landscape plan for approval. The landscape plan will be required to include deep soil areas in compliance with Tables B6 and B7 of Standard B38.

	<ul style="list-style-type: none"> <li>• Include landscaping, such as climbing plants or smaller plants in planters, in the street frontage and in outdoor areas, including communal outdoor open space.</li> <li>• Shade outdoor areas exposed to summer sun through landscaping or shade structures and use paving and surface materials that lower surface temperatures and reduce heat absorption.</li> <li>• Be supported by irrigation systems which utilise alternative water sources such as rainwater, stormwater and recycled water.</li> <li>• Protect any predominant landscape features of the area.</li> <li>• Take into account the soil type and drainage patterns of the site.</li> <li>• Provide a safe, attractive and functional environment for residents.</li> <li>• Specify landscape themes, vegetation (location and species), irrigation systems, paving and lighting.</li> </ul> <p><i>Refer Table B5, B6 and B7 of Clause 55.07-4.</i></p>	
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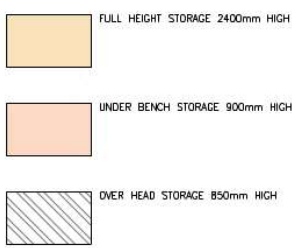
<p><b>55.07-5 Integrated water and stormwater management objectives</b></p> <p>To encourage the use of alternative water sources such as rainwater, stormwater and recycled water.</p> <p>To facilitate stormwater collection, utilisation and infiltration within the development.</p> <p>To encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.</p>	<p><b>Standard B39</b></p> <p>Buildings should be designed to collect rainwater for non-drinking purposes such as flushing toilets, laundry appliances and garden use.</p> <p>Buildings should be connected to a non-potable dual pipe reticulated water supply, where available from the water authority.</p> <p>The stormwater management system should be:</p> <ul style="list-style-type: none"> <li>• Designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).</li> <li>• Designed to maximise infiltration of stormwater, water and drainage of residual flows into permeable surfaces, tree pits and treatment areas.</li> </ul>	<p><b>Yes – Complies with Standard B39</b></p> <p>The stormwater management system has been designed for appropriate retention and reuse in accordance with Standard B39.</p> <p>It is noted that Council’s ESD officer has reviewed the Sustainable Management Plan (SMP) report and did not raise an issue with the proposal.</p> <p>Some of the initiatives include:</p> <ul style="list-style-type: none"> <li>• 6000L water tank connect to a minimum 492.9m2 of roof area, this area may increase once the civil engineer finalises the drainage plans for council endorsement.</li> <li>• Rainwater tanks connected to all toilet flushing.</li> <li>• Water efficient landscaping. A landscape plan prepared by a suitable landscape architect to nominate water efficient vegetation throughout the development.</li> <li>• For outdoor water reductions, plants, shrubs and lawn which require low amounts of water (drought-resistance) should be chosen. Native plants will be selected as they use less water and are more resistant to local plant diseases. Plant slopes with plants that will retain water and help reduce runoff.</li> </ul>
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<p><b>55.07-6 Access objective</b></p> <p>To ensure that vehicle crossovers are designed and located to provide safe access for pedestrians, cyclists and other vehicles.</p> <p>To ensure that vehicle crossovers are designed and located to minimise visual impact.</p>	<p><b>Standard B40</b></p> <p>Vehicle crossovers should be minimised.</p> <p>Car parking entries should be consolidated, minimised in size, integrated with the façade and where practicable located at the side or rear of the building.</p> <p>Pedestrian and cyclist access should be clearly delineated from vehicle access.</p> <p>The location of crossovers should maximise pedestrian safety and the retention of on-street car parking spaces and street trees.</p> <p>Development must provide access for service, emergency and delivery vehicles.</p>	<p><b>Yes – Complies with Standard B40</b></p> <p>Site access for vehicles and pedestrians have been provided in accordance with Standard B40.</p>
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<p><b>55.07-7 Noise impacts objective</b></p> <p>To contain noise sources in developments that may affect existing dwellings.</p> <p>To protect residents from external and internal noise sources.</p>	<p><b>Standard 41</b></p> <p>Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings.</p> <p>The layout of new dwellings and buildings should minimise noise transmission within the site.</p> <p>Noise sensitive rooms (such as living areas and bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings.</p> <p>New dwellings should be designed and constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.</p> <p>Buildings within a noise influence area specified in Table B8 should be designed and constructed to achieve the following noise levels:</p> <ul style="list-style-type: none"> <li>• Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am.</li> <li>• Not greater than 40dB(A) for living areas, assessed LAeq,16h from 6am to 10pm.</li> </ul> <p>Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to</p>	<p><b>Yes – Complies with Standard B41</b></p> <p>There are no external noise sources that require consideration.</p> <p>Noise sensitive rooms are located away from mechanical plant, including the lift, and the site is not within a nominated noise influence area.</p>
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	<p>meet the specified noise level requirements.</p> <p>Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.</p> <p><i>Refer Table B8 of Clause 55.07-7.</i></p>	
<p><b>55.07-8 Accessibility objective</b></p> <p>To ensure the design of dwellings meets the needs of people with limited mobility</p>	<p><b>Standard 42</b></p> <p>At least 50 per cent of dwellings should have:</p> <ul style="list-style-type: none"> <li>• A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.</li> <li>• A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area.</li> <li>• A main bedroom with access to an adaptable bathroom.</li> <li>• At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table B9.</li> </ul> <p><i>Refer Table B9 of Clause 55.07-8.</i></p>	<p><b>Yes – Complies with Standard B42</b></p> <p>At least 50 percent of apartments (11 in total) are provided with accessible entries with clear paths to accessible bathrooms in accordance with the standard.</p> <p>Confirmed on TP11, TP12 and TP13 as follows:</p> <p style="text-align: center;"><u>ACCESSIBILITY (APPLY TO 50% OF DWELLINGS)</u></p> <div style="display: flex; align-items: center; justify-content: center;">  <p>ACCESSIBLE APARTMENT</p> </div>

<p><b>55.07-9 Private open space objective</b></p> <p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p><b>Standard 43</b></p> <p>A dwelling should have private open space consisting of at least one of the following:</p> <ul style="list-style-type: none"> <li>• An area at ground level of at least 25 square metres, with a minimum dimension of 3 metres and convenient access from a living room.</li> <li>• A balcony with at least the area and dimensions specified in Table B10 and convenient access from a living room. If a cooling or heating unit is located on a balcony, the minimum balcony area specified in Table B10 should be increased by at least 1.5 square metres.</li> <li>• An area on a podium or other similar base of at least 15 square metres, with a minimum dimension of 3 metres and convenient access from a living room.</li> <li>• An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres and convenient access from a living room.</li> </ul> <p><i>Refer Table B10 of Clause 55.07-9.</i></p>	<p><b>Yes – Complies with Standard B43</b></p> <ul style="list-style-type: none"> <li>• All ground floor apartments exceed the minimum requirements of 20sqm POS as per the GRZ4.</li> <li>• The first and second floor apartments all have balconies which have been designed to meet the minimum requirements for balcony widths and sizes per their respective orientations and apartment sizes.</li> <li>• The SPOS for each apartment is highly functional and designed to provide the best option possible.</li> </ul>
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<p><b>55.07-10 Storage objective</b></p> <p>To provide adequate storage facilities for each dwelling.</p>	<p><b>Standard B44</b></p> <p>Each dwelling should have convenient access to usable and secure storage space.</p> <p>The total minimum storage space (including kitchen, bathroom and bedroom storage) should meet the requirements specified in Table B11.</p> <p><i>Refer Table B11 of Clause 55.07-10.</i></p>	<p><b>Yes – Complies with Standard B44</b></p> <ul style="list-style-type: none"> <li>• The one-bedroom apartments both provide a minimum of 6m<sup>3</sup> of internal storage.</li> <li>• The two-bedroom apartments mostly all provide a minimum of 9m<sup>3</sup> of internal storage.</li> <li>• The three-bedroom apartment provides a minimum of 14.5m<sup>3</sup> of internal storage.</li> <li>• To account for the remainder of the total minimum storage each apartment must provide, each has access to a lockable storage unit that measures approximately 6m<sup>3</sup> located in the basement of the building. Where practical, storage cages have been located close to the corresponding car parking spaces.</li> <li>• Storage volumes have been nominated on the plans for each apartment to show compliance with this standard labelled as follows:</li> </ul> <div style="margin-top: 10px;">  <p>FULL HEIGHT STORAGE 2400mm HIGH</p> <p>UNDER BENCH STORAGE 900mm HIGH</p> <p>OVER HEAD STORAGE 850mm HIGH</p> </div>
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<p><b>55.07-11 Waste and recycling objectives</b></p> <p>To ensure dwellings are designed to encourage waste recycling.</p> <p>To ensure that waste and recycling facilities are accessible, adequate and attractive.</p> <p>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm</p>	<p><b>Standard B45</b></p> <p>Developments should include dedicated areas for:</p> <ul style="list-style-type: none"> <li>• Waste and recycling enclosures which are:                     <ul style="list-style-type: none"> <li>- Adequate in size, durable, waterproof and blend in with the development.</li> <li>- Adequately ventilated.</li> <li>- Located and designed for convenient access by residents and made easily accessible to people with limited mobility.</li> </ul> </li> <li>• Adequate facilities for bin washing. These areas should be adequately ventilated.</li> <li>• Collection, separation and storage of waste and recyclables, including where appropriate opportunities for on-site management of food waste through composting or other waste recovery as appropriate.</li> <li>• Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing.</li> <li>• Adequate circulation to allow waste and recycling collection vehicles to enter and leave the site without reversing.</li> </ul>	<p><b>Yes – Complies with Standard B45</b></p> <p>A Waste Management Plan has been provided demonstrating that the development meets the requirements of Standard B45.</p>
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	<ul style="list-style-type: none"><li>• Adequate internal storage space within each dwelling to enable the separation of waste, recyclables and food waste where appropriate.</li><li>• Waste and recycling management facilities should be design and managed in accordance with a Waste Management Plan approved by the responsible authority and:<ul style="list-style-type: none"><li>• Be designed to meet the better practice design options specified in Waste Management and Recycling in Multi-unit Developments (Sustainability Victoria, 2019).</li></ul></li><li>• Protect public health and amenity of residents and adjoining premises from the impacts of odour, noise and hazards associated with waste collection vehicle movements.</li></ul>	
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<p><b>55.07-12 Functional layout objective</b></p> <p>To ensure dwellings provide functional areas that meet the needs of residents.</p>	<p><b>Standard B46</b></p> <p>Bedrooms should:</p> <ul style="list-style-type: none"> <li>• Meet the minimum internal room dimensions specified in Table B12.</li> <li>• Provide an area in addition to the minimum internal room dimensions to accommodate a wardrobe.</li> </ul> <p><i>Refer Table B12 of Clause 55.07-12.</i></p> <p>Living areas (excluding dining and kitchen areas) should meet the minimum internal room dimensions specified in Table B13.</p> <p><i>Refer Table B13 of Clause 55.07-12.</i></p>	<p><b>Yes – Complies with Standard B46</b></p> <p><u>FUNCTIONAL LAYOUT (APPLY TO ALL DWELLINGS)</u></p> <ul style="list-style-type: none"> <li>■ LIVING AREA – 2+ BED (MIN. 12m<sup>2</sup>, 3.6m WIDE)</li> <li>■ LIVING AREA – STUDIO &amp; 1 BED (MIN. 10m<sup>2</sup>, 3.3m WIDE)</li> <li>■ MAIN BEDROOM (3.4m x 3.0m MIN. CLEAR)</li> <li>■ OTHER BEDROOMS (3.0m x 3.0m MIN. CLEAR)</li> </ul>
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<p><b>55.07-13 Room depth objective</b></p> <p>To allow adequate daylight into single aspect habitable rooms.</p>	<p><b>Standard B47</b></p> <p>Single aspect habitable rooms should not exceed a room depth of 2.5 times the ceiling height.</p> <p>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</p> <ul style="list-style-type: none"> <li>• The room combines the living area, dining area and kitchen.</li> <li>• The kitchen is located furthest from the window.</li> <li>• The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level. This excludes where services are provided above the kitchen.</li> </ul> <p>The room depth should be measured from the external surface of the habitable room window to the rear wall of the room.</p>	<p><b>Yes – Complies with Standard B47</b></p> <ul style="list-style-type: none"> <li>• Room aspect ratios are compliant with this Standard.</li> <li>• Single aspect habitable rooms exceeding 6.25m in depth (per 2.7m ceiling heights) include living, dining and kitchen areas in an open plan format with the kitchens located toward the centre of the building away from the windows.</li> </ul>
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**55.07-14 Windows objective**

To allow adequate daylight into new habitable room windows.

**Standard B48**

Habitable rooms should have a window in an external wall of the building.

A window may provide daylight to a bedroom from a smaller secondary area within the bedroom where the window is clear to the sky.

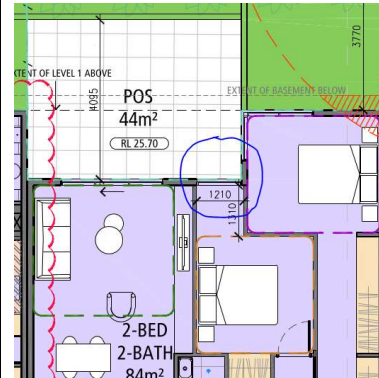
The secondary area should be:

- A minimum width of 1.2 metres.
- A maximum depth of 1.5 times the width, measured from the external surface of the window.

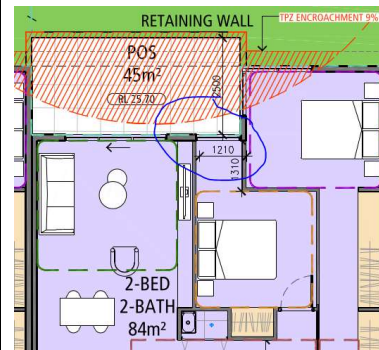
**Yes – Complies, with variation to Standard B48**

Second bedroom windows of Unit 1.03, 1.04 and 1.07 (shown below) has window provided from a secondary area which is not clear to the sky. It is cantilevered under the upper level.

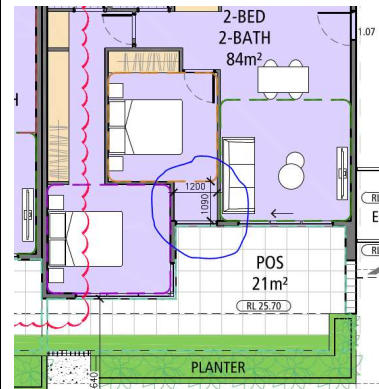
Unit 1.03



Unit 1.04




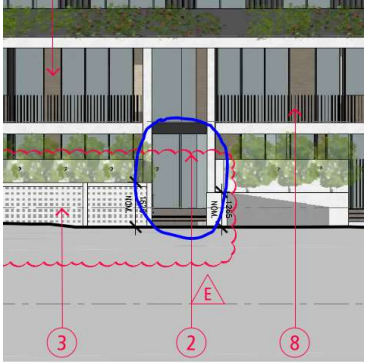

Unit 1.07



Before deciding on an application, the responsible authority must consider:

- The design response.
- The extent to which the habitable room is provided with reasonable daylight access through the number, size, location and orientation of windows.

		<ul style="list-style-type: none"> <li>The useability and amenity of the dwelling based on the layout, siting, size and orientation of habitable rooms.</li> </ul> <p>The proposal is considered to meet the objectives as follows:</p> <ul style="list-style-type: none"> <li>The windows face SPOS of more than 20m<sup>2</sup> ensuring ample opportunity for light to access these windows.</li> <li>No windows are proposed to be recessed more than 1.5 times their depth.</li> </ul>
<p><b>55.07-15 Natural ventilation objectives</b></p> <p>To encourage natural ventilation of dwellings.</p> <p>To allow occupants to effectively manage natural ventilation of dwellings.</p>	<p><b>Standard B49</b></p> <p>The design and layout of dwellings should maximise openable windows, doors or other ventilation devices in external walls of the building, where appropriate.</p> <p>At least 40 per cent of dwellings should provide effective cross ventilation that has:</p> <ul style="list-style-type: none"> <li>A maximum breeze path through the dwelling of 18 metres.</li> <li>A minimum breeze path through the dwelling of 5 metres</li> <li>Ventilation openings with approximately the same area.</li> </ul> <p>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</p>	<p><b>Yes – Complies with Standard B49</b></p> <ul style="list-style-type: none"> <li>At least 40% of dwellings provide effective cross ventilation.</li> </ul> <p>Shown on plans as:</p> <p style="text-align: center;"><small>NATURAL VENTILATION (APPLY TO 40% OF DWELLINGS)</small></p> <p style="text-align: center;"> <small>CROSS VENTILATION BREEZE PATH (MIN. 5m, MAX. 18m) BETWEEN OPENINGS ON DIFFERENT ORIENTATION OF THE BUILDING</small></p>

<p><b>55.07-16 Building entry and circulation objectives</b></p> <p>To provide each dwelling and building with its own sense of identity.</p> <p>To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents.</p> <p>To ensure internal communal areas provide adequate access to daylight and natural ventilation.</p>	<p><b>Standard B50</b></p> <p>Entries to dwellings and buildings should:</p> <ul style="list-style-type: none"> <li>• Be visible and easily identifiable.</li> <li>• Provide shelter, a sense of personal address and a transitional space around the entry.</li> </ul> <p>The layout and design of buildings should:</p> <ul style="list-style-type: none"> <li>• Clearly distinguish entrances to residential and non-residential areas.</li> <li>• Provide windows to building entrances and lift areas.</li> <li>• Provide visible, safe and attractive stairs from the entry level to encourage use by residents.</li> <li>• Provide common areas and corridors that:             <ul style="list-style-type: none"> <li>- Include at least one source of natural light and natural ventilation.</li> <li>- Avoid obstruction from building services.</li> <li>- Maintain clear sight lines.</li> </ul> </li> </ul>	<p><b>Yes – Complies with Standard B50</b></p> <ul style="list-style-type: none"> <li>• The proposed development would exhibit a main building entry to Barrabool Road with a clearly distinguishable opening and entry walkway area which provides both a sense of address and transitional space.</li> </ul>   <p>AND MONTAGUE STREET</p> <ul style="list-style-type: none"> <li>• The internal layout and external layout of the proposal clearly distinguishes entrances to residential and non-residential area.</li> <li>• Internally the individual apartments will have their own individual entrance doors, each numbered with intercom system integrated into the security access system.</li> <li>• The staircase is centrally located and the design of this staircase will be a showpiece to the communal passageway.</li> </ul>
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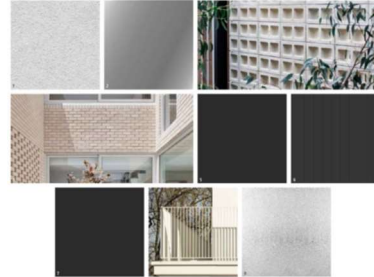
<p><b>55.07-17 Integration with the street objective</b></p> <p>To integrate the layout of development with the street.</p> <p>To support development that activates street frontages.</p>	<p><b>Standard B51</b></p> <p>Development should be oriented to front existing and proposed streets.</p> <p>Along street frontages, development should:</p> <ul style="list-style-type: none"> <li>• Incorporate pedestrian entries, windows, balconies or other active spaces.</li> <li>• Limit blank walls.</li> <li>• Limit high front fencing, unless consistent with the existing urban context.</li> <li>• Provide low and visually permeable front fences, where proposed.</li> <li>• Conceal car parking and internal waste collection areas from the street.</li> </ul> <p>Development next to existing public open space should be designed to complement the open space and facilitate passive surveillance.</p>	<p><b>Yes – Complies with Standard B51</b></p> <ul style="list-style-type: none"> <li>• The proposed development has been oriented toward Barrabool Road and the reserve located on the southern side of the road.</li> <li>• The secondary frontage of Montague Street being activated by balconies, however direct pedestrian access to one unit fronting the street has been provided.</li> <li>• The proposal incorporates planter boxes into the wider landscaping within the front setback.</li> <li>• Many of the apartments having views onto Barrabool Road and Montague Street, and toward the reserve.</li> </ul>
<p><b>55.07-18 Site services objective</b></p> <p>To ensure that site services are accessible and can be easily installed and maintained.</p> <p>To ensure that site services and facilities are visually integrated into the building design or landscape.</p>	<p><b>Standard B52</b></p> <p>Development should provide adequate space (including easements where required) for site services to be installed and maintained efficiently and economically.</p> <p>Meters and utility services should be designed as an integrated component of the building or landscape.</p> <p>Mailboxes and other site facilities should be adequate in size, durable, weather-protected, located for convenient access and integrated into the overall design of the development.</p>	<p><b>Yes – Complies with Standard B52</b></p> <p>All required site services are provided in accordance with the Standard.</p>
<p><b>55.07-19 External walls and materials objective</b></p>	<p><b>Standard B53</b></p>	<p><b>Yes – Complies with Standard B53</b></p>

To ensure external walls use materials appropriate to the existing urban context or preferred future development of the area. To ensure external walls endure and retain their attractiveness.

External walls should be finished with materials that:  
 Do not easily deteriorate or stain.  
 Weather well over time.  
 Are resilient to the wear and tear from their intended use.  
 External wall design should facilitate safe and convenient access for maintenance.

Cladding materials are durable, attractive, and respectful of the urban context in accordance with the Standard. The materials generally consist of render, face brickwork and breezeblocks, aluminium framed windows and metal cladding all of which are typical of the area and generally appropriate for this type and scale of development.

No boundary walls are proposed.



- 1 RENDERED PAINT FINISH  
COLOUR: WHITE
- 2 GLAZING  
CLEAR
- 3 BREEZEBLOCKS  
COLOUR: WHITE
- 4 BRICK  
COLOUR: CHAMPAGNE
- 5 ALUMINIUM WINDOW FRAME  
POWDERCOAT FINISH  
COLOUR: MONUMENT
- 6 METAL CLADDING  
COLOUR: MONUMENT/BLACK
- 7 METAL BALUSTRADE  
COLOUR: MONUMENT/BLACK
- 8 METAL ENTRY GATES &  
BALUSTRADE  
POWDERCOAT FINISH  
COLOUR: WHITE
- 9 OBSCURED GLAZING

## **CLOSE OF MEETING**

As there was no further business the meeting closed at 7:17pm on Thursday 24<sup>th</sup> April 2025.

**X**

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Cr Mason  
Chair